

# LANDSCAPE DESIGN GUIDELINES

## Section 9.0

Draft  
September 2011





# COMMUNITY LANDSCAPE

## 9.1

The following design guidelines establish a hierarchy of the landscape design principles for Serrano Summit and its surrounding roadways. Careful attention is given to creating an appropriate and appealing landscape design that complements and enhances the overall character of Serrano Summit. All landscape plans, streetscape plans, and graphic designs with regard to community identity, neighborhood

identity, or entry monumentation shall conform to the guidelines as set forth herein, and will be subject to review and approval by the City of Lake Forest.

# LANDSCAPE THEME

## 9.2

The goals of the community landscape at Serrano Summit are as follows:

- A master landscape theme that complements the internal Land Use Plan;
- Take advantage of the idyllic site;
- Promote and preserve long distant views and vistas;
- Work organically with the natural surrounding hillside and vegetation;
- Promote a feeling that you arrived at “somewhere special,” a place that has preserved the past;
- Environmentally sensitive and California friendly;
- Landscape to be California-friendly and a leader in “water wise” design;
- Promote lifestyle activities which “blur” the separation between indoor and outdoor spaces; and
- Display remnants of an Early California Rancho. These subtle expansions authentically inspired by the land’s Spanish roots.

The landscape theme for the Serrano Summit community should work hand-in-hand with the Site Plan. This community is an infill development that has spectacular views which the Land Use Plan strives to promote and preserve. The landscape design should complement and reinforce that direction. The landscape, which includes site amenities, hardscape and softscape elements, should promote a consistent theme. (See Exhibit 9-1, Community Landscape Features, and Exhibit 9-2, Conceptual Landscape Master Plan.)

The theme for Serrano Summit is Early California, celebrated by preserving small pockets or remnants of Spanish stylistic roots. The natural riparian vegetation from Serrano Creek will be expanded and incorporated into the community from the North. The low-growing, native “hillside vegetation” will transition into the project from the western and southern slopes. This approach will help integrate the community with its surroundings and promote a “well rooted,” organic and established appearance typical of Early California Spanish design.

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# GENERAL LANDSCAPE CRITERIA

## 9.3

### General Provisions

1. All landscape plans shall comply with the City's Water Efficiency Landscape Ordinance (Ordinance 207). All landscape and irrigation plans for streetscapes and graphic designs with regard to the identity of Serrano Summit, neighborhood identity or entry monuments shall conform to the Design Guidelines and regulations as set forth herein and shall be subject to Design Review by the City of Lake Forest. The form and content of landscape plans for streets, parks, and other common areas shall conform to City application requirements.
2. The design and improvement of all public parks, open space, paseos and trail, including landscape and irrigation plans, within Serrano Summit shall be reviewed and approved by the City of Lake Forest Parks Department.
3. Installation of landscaping and automatic irrigation within the front yards of all residential areas shall be provided by the home builder. At a minimum, the builder will install ground cover and appropriate shrubs and trees in the front yards of homes within residential areas, consistent with landscape plans approved during the site development plan or use permit process. At a minimum two trees shall be installed, of which at least one, is a shade tree. A variety of front yard landscape designs shall be provided by the developer for use by homeowners. Within single family attached residential areas the builder shall be responsible for the installation of full landscape improvements within the development. Areas not used for hardscape shall be landscaped. All landscape plans shall be reviewed and approved by the City of Lake Forest and shall be designed to incorporate water conservation measures.
- the entire perimeter property line or on manufactured slopes between properties.
2. Landscaping and automatic irrigation systems within the public rights-of-way of Serrano Summit shall be installed by the developer.
3. Freestanding perimeter walls and view fencing shall be provided within, and at the perimeter of, Serrano Summit as specified in Section 9.13, Walls and Fences. Such walls and fences will be constructed concurrently with the construction of improvements required for development of the neighborhoods of the Serrano Summit boundaries.
4. Perimeter walls shall be constructed in locations and of a design consistent with the "Fence and Wall Plan" and "Block Wall" exhibits located in Section 9.13, Walls and Fences. Perimeter walls shall not exceed six feet in height from finished grade. If required for sound attenuation, perimeter walls may exceed six feet in height but must be constructed using transparent material, subject to the recommendations of an acoustical study and approval by the City. Perimeter walls shall be constructed of either masonry or other permanent, durable, low maintenance material. Thematic perimeter fencing shall be constructed of all durable materials, which may include materials with a wood-like appearance, or tubular steel subject to approval by the City. In no instance shall wooden fencing be permitted along perimeters.
5. Individual residential lot side and rear yard walls and fencing shall not exceed six feet in height from highest adjacent finished grade. Side and rear walls may exceed six feet (6') in height if required by the City of Lake Forest for sound attenuation pursuant to the recommendations of an Acoustical Report. Walls and fencing within the residential front yard setback area shall not exceed three feet in height. Side and rear yard walls shall be of decorative masonry construction on both sides of the wall or other permanent low maintenance materials. Front yard fences may be constructed of wood or any other durable materials with a wood like appearance, subject to approval by the City. View fencing may be of a decorative wrought

### Landscape Standards

1. Landscaping within Serrano Summit shall be provided in accordance with the Landscape Design Guidelines, utilizing plant materials specified on the Master Plant Palette included in Section 9.16. Boundary landscaping will be required adjacent to residential areas. Landscaping shall generally be placed along

- iron, tubular steel/aluminum glass panels, or other durable material approved by the City.
6. All perimeter wall and fence materials throughout Serrano Summit will be of uniform manufacture with colors specified for the overall design theme.
  7. Non-toxic vegetation shall be utilized adjacent to all public open space areas to the extent feasible.
  8. Landscape design shall emphasize the planting of long-lived plant species that are native to the region or well adapted to the climatic and soil conditions of the area.
  9. The landscape design should help create and reinforce the distinct character of various features within the natural and man-made environments.
  10. The landscape treatment of all areas shall emphasize the planting of shade trees in both formal and informal groupings throughout the community.
  11. The use of non-invasive, California-friendly plant materials that are climate-appropriate shall be utilized where appropriate.
  12. Landscape plans for any development shall consider service lines, traffic sight line requirements, and structures on adjacent properties to avoid conflicts as trees and shrubs mature.
  13. Street trees and trees planted near walkways or street curbs shall be selected and installed to prevent damage to sidewalks, curbs, gutters and other improvements.
  14. Plants with high water demand are encouraged to be located only in areas where runoff naturally occurs.
  15. The use of turf grass should be used in active use areas only. Groundcovers and drought-tolerant grasses that require less water should be used in non-active areas.
  16. Planting design (species, quantity, size and spacing) shall achieve a minimum of 70% ground plane coverage within two (2) growing seasons from installation.
  17. The ground plane shall be covered with a minimum 2" layer of decorative material to improve water-holding capabilities of soil through reduced evaporation and compaction.
  18. The use of decorative gravel is encouraged as a design element to offer a variety of colors and texture within landscape areas. The size of the material is to be suitable so as to remain in place once it has been installed.
  19. Install a 12" minimum border of decomposed granite/decorative gravel along back of curb within the parkway to minimize irrigation overspray into the gutters.
  20. Public/private areas shall be separated with a 6" by 6" concrete mow strip when adjacent to private property.
  21. Turf areas shall be sized and shaped to optimize irrigation efficiency. Turf type and location shall be selected in the same manner as other plantings. Turf shall not be treated as a fill-in matter but rather as a planned element of the landscape. All turf areas shall be on separate irrigation zones. The following conditions shall apply:
    - a. *No turf may be used on slopes greater than 4:1.*
    - b. *No more than 50 percent of homeowner's property outside the building envelope shall be planted with turf; this reduces water usage by requiring a greater amount of private landscape to utilize a climate-appropriate landscape palette.*
    - c. *Turf should only be used in active areas.*
    - d. *Turf areas less than eight (8) feet wide on the shortest side shall be irrigated with subsurface irrigation or micro spray heads.*
    - e. *Irregular shapes that cannot be irrigated efficiently shall be avoided.*
    - f. *Artificial turf shall be permitted within Serrano Summit planning areas, with the exception of areas designated as Open Space (i.e., Planning Area 18).*

# IRRIGATION PRACTICES AND DESIGN

## 9.4

Irrigation for both public and private landscapes should be designed to be water-efficient and water-wise. All irrigation systems shall be designed to properly water plant materials given the site's climate and soil conditions. The following is a list of some of the guiding principles for an appropriate irrigation system design:

- All public areas and rights of ways shall have automatic irrigation systems and shall be compatible with reclaimed water systems.
- Utilizing a weather-based master irrigation controller system that employs current weather data and a rain shut-off device to ensure that the irrigation schedule is based upon actual "real time" plant needs. This allows for a greater level of control within the irrigation system and minimizes potential water waste.
- Utilization of point-irrigation (drip) systems is encouraged to allocate more efficient delivery of water to root systems and minimize run-off.
- The use of overhead spray heads is discouraged in non-turf applications. The use of point irrigation or sub-surface irrigation dripline root zone irrigation system negates overspray and reduces water waste.
- Spray systems shall have low volume (gpm) matched-precipitation heads.
- Turf areas shall be irrigated with equipment that has a precipitation rate of one (1) inch or less per hour as specified by the manufacturer. Stream rotator heads are preferred; use of standard spray heads shall be avoided.
- All irrigation products specified shall achieve an irrigation operational distribution uniformity of 70% or greater in all turf areas and 80% in all other landscaped areas.
- Using reclaimed water in large, public open spaces is highly encouraged, if available.
- Design irrigation system based upon solar exposure. Irrigation heads should be grouped in South/West and North/East exposures. This ensures that heads with similar sunny exposure will be grouped together on the same valve and heads with similar shaded exposure will be grouped together.
- All major tree groupings shall have an additional support irrigation system providing water to each individual tree utilizing a flush grade

bubbler system on a separate valve in order to more efficiently manage water demand.

# LANDSCAPE TREE DISTRICTS

## 9.5

To ensure that the concept and theming established for the community as a whole extends to the residential neighborhood level (above and beyond the parks and gardens that are required), Serrano Summit has been divided into landscape tree districts (see Exhibit 9-3, Landscape Tree District Plan) that are comprised of multiple planning areas.

While community-wide landscaping criteria will provide a visual continuity throughout the community, a collection of defined landscape tree districts have been established to distinguish specific neighborhoods, collections of neighborhoods, or other specialized zones. Each landscape tree district will establish criteria reinforcing its unique characteristics and thematic elements within the context of the larger community.

A landscape tree district may be defined by the characteristics of an area's:

- Predominant architectural theme
- Location and proximity to natural open space areas or other significant site features
- Specific land uses (residential, public facility, Civic Center)

Subtle variations in landscape will occur between landscape tree districts, creating a distinguishable and unique sense of place for each district.

All landscape tree district criteria shall be complimentary to the overall community landscape concept.

The Serrano Summit community is divided into several distinct "Tree Neighborhood Zones." The intent of these "Tree Zones" is to help reinforce each district's own sense of unique identity while still strengthening the overall community's theme. These zones are designed to simulate nature and blend into the overall regional viewshed. They are also based on geographic factors such as elevation, slope orientation, canyons, as well as proximity to significant groves of existing native trees. Each "Tree Neighborhood Zone" has its own tree palette of related tree species which are visually compatible based on form, pattern, texture and color. All internal street trees and 75% of all trees located on manufactured slopes, transition areas and fuel

modification zones shall be from the designated tree palette for that neighborhood zone. The remaining 25% of trees, along with all trees on buildable pad areas, may be selected from the overall landscape plant palette. This concept provides a simple method of precluding a "patchwork" effect from lot to lot, helps to unify the landscape framework, and provides some diversity while avoiding mono-culture.



**Riparian Zone**



**California Hillside Zone**

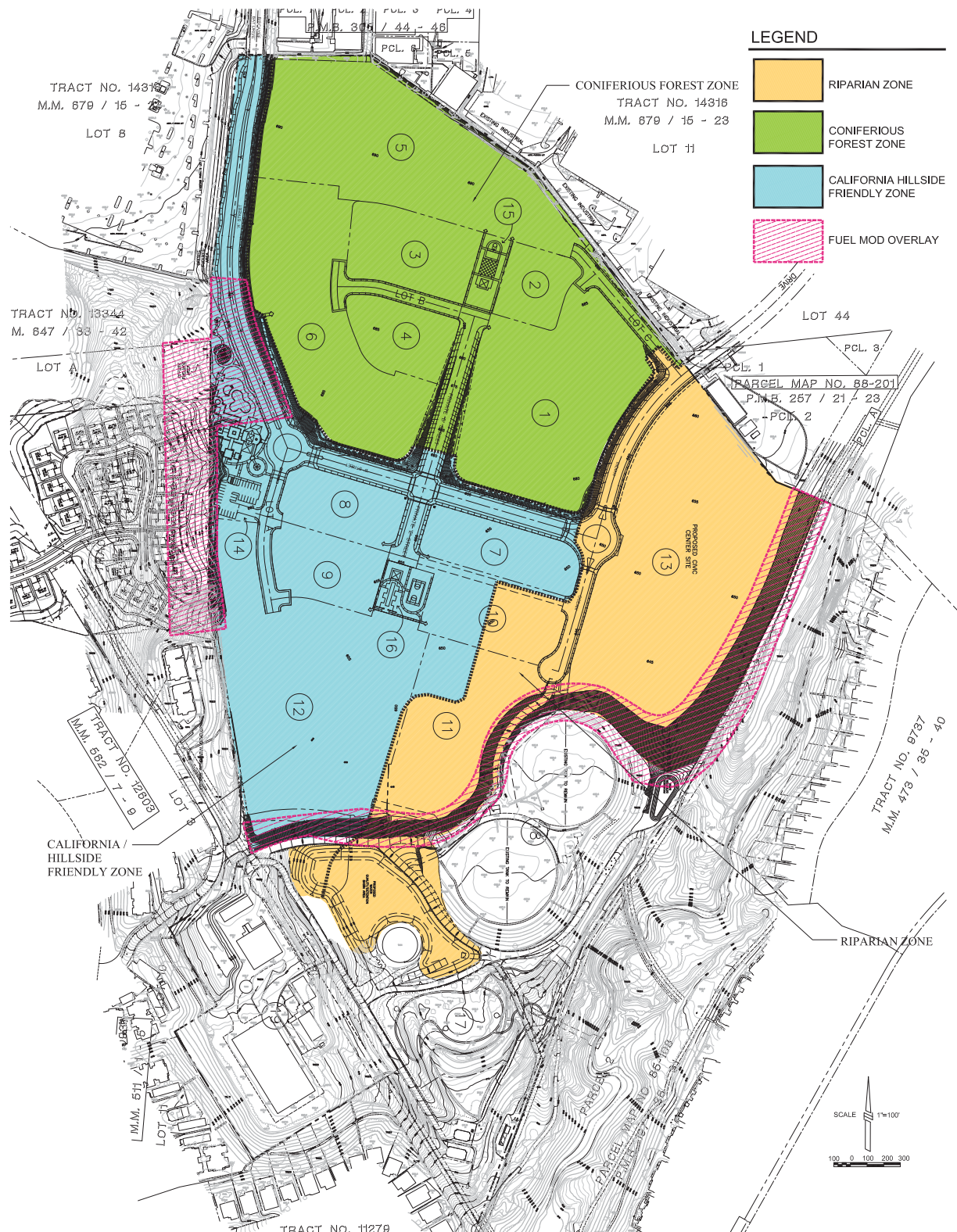


**Coniferous Forest Zone**



# LANDSCAPE TREE DISTRICT PLAN

# EXHIBIT 9-3



## SERRANO SUMMIT AREA PLAN

# TIERED LANDSCAPE PROGRAM

9.6

Landscaping for Serrano Summit shall follow a tiered planting concept as shown in General Tiered Planting Requirements Table (see Table 9-1). This concept shall be consistent throughout the community, from perimeter streetscape design to residential front yards. Using different scales, forms, colors, and/or textures of plant materials, tiered – or layered and promotes interest and diversity. The application of tiered planting is required to enhance the visual character of the project by softening the appearance of walls and fencing along major community roadways. The tiered concept shall also be applied at the neighborhood level (along collector and local streets) and in front of individual residential units or multifamily housing projects. A selection of acceptable planting materials is found in the Master Plant Palette (see Section 9-16).

TABLE 9-1  
GENERAL TIERED LANDSCAPING  
REQUIREMENTS

LAYER	DESCRIPTION	SIZE
LAYER A	Low spreading groundcover (1) (including turf or turf substitute)	Under 12" height
LAYER B	Low mounding shrub/ groundcover (1)(2) (informal mass planting)	12"-30" height
LAYER C	Low hedge (formal - linear)	12"-30" height
LAYER D	Medium shrub (2) (informal mass or hedge)	24"-48" height
LAYER E	Large shrub (2) (informal mass or hedge)	42"-60" height
LAYER F	Vertical (growth habit columns rather than horizontal)	42"-72" height
ACCENT	Strategically located specimens	Varies

## FOOTNOTES

1. Groundcover material shall be permeable and able to retain moisture in the root zone, as well as reduce dust and weeds. Examples of appropriate ground plane materials include decomposed granite (3/8" minus with 11% fines), fractured gravel (3/4"-1"), fractured rock (2"-6"), river rock (4"-9"), shredded bark, and ornamental grass.
2. Shrubs shall be a minimum of 5-gallons in size; in any "multi-layer" scheme. For shrubs serving as the first (shortest) layer, a 1-gallon shrub size or rooted cutting is acceptable.

The Specific Tiered Landscaping Requirements Table (see Table 9-2), provides details on how to approach multi-layered landscaping in front and side yards, slopes and large open spaces.

TABLE 9-2  
SPECIFIC TIERED LANDSCAPING  
REQUIREMENTS

PLANTER WIDTH	NUMBER OF LAYERS REQUIRED		
LAYER	FRONT YARDS	STREET-ADJACENT SIDE YARDS	SLOPES & LARGE OPEN SPACE
18"-30"	1	1	1
30"-48"	2	2	1
48"-60"	2 or 3	2	1
60" & up	3	3	-
5'-12'	-	-	2
12' & up	-	-	2 or 3

Accent planting is encouraged depending on length of planter and could, depending on its use, count as a layer.





# STREETSCAPE DESIGN

## 9.7

Landscape design plays a crucial role in effective street design that goes beyond form and aesthetics. Streetscape connects neighborhoods allowing a smooth circulation of both vehicular and pedestrian traffic. It addresses comfort, safety, security and accessibility for residents and visitors. Streets in neighborhoods will be designed to be enjoyable, walkable and interactive to pedestrians. The streetscape hierarchy consists of two levels of streetscape design: Community- and neighborhood-level streetscape (see Exhibits 9-4 to 9-10).

Community-level streetscapes/street tree patterns shall be designed in a manner to define the unique character of the Serrano Summit community.

Neighborhood-level streetscapes shall be designed to reinforce the more intimate character of residential areas.

In some areas within the community, corners of adjacent residential lots shall be thematically landscaped for transition into neighborhood and community spaces. Wall treatments will become more visually distinct with decorative pilasters accentuated by accent trees and plants. Trees shall be strategically located to not interfere with driving visibility.

Refer to streetscape tree list (see Table 9-3) for exact tree species for each street within Serrano Summit.

### Community-Level Streetscape Design

Streetscape design guidelines establish a hierarchy for the landscape development along the collector roadways, as well as establishing a framework for consistency of design. Three collector streets service the Serrano Summit community: 'A' Street, 'B' Street, and Indian Ocean Drive. (See Exhibits 9-4 to 9-6)

The following criteria shall be followed:

- All collector streets shall be planted in accordance with the Serrano Summit streetscape design.
- Street trees will be at a minimum size of 24" box in size.

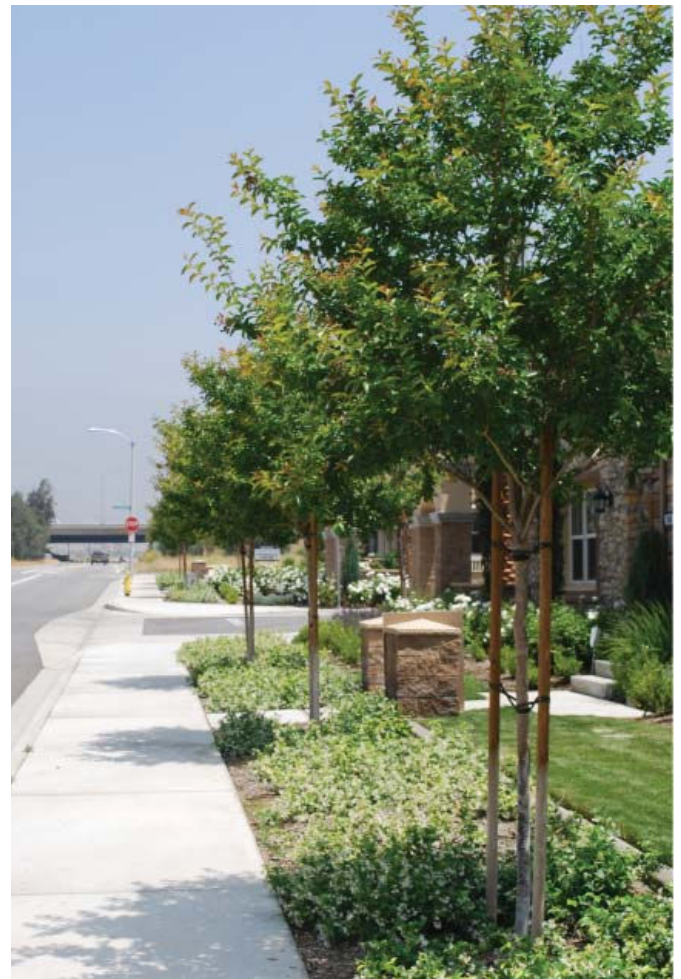


TABLE 9-3  
STREETSCAPE TREE LIST

BOTANICAL NAME	COMMON NAME	PERIMETER ROAD 'A'	PERIMETER ROAD 'A' BACKGROUND/UNDERSTORY	'B' STREET	'B' STREET BACKGROUND/UNDERSTORY	INDIAN OCEAN STREET TREE	INDIAN OCEAN BACKGROUND/ UNDERSTORY	PRIVATE 'D' STREET	INTERIOR NEIGH. STREET TREE/ RIPARIAN ZONE	INTERIOR NEIGH. STREET TREE/ CA. HILLSIDE ZONE	INTERIOR NEIGH. STREET TREE/ CONIFEROUS FOREST ZONE	ACCENT POINTS	CORNER TREATMENTS	ALLEY
Acacia smallii	Sweet Acacia									•				
Arbutus 'Marina'	Strawberry Tree			•										•
Callistemon viminalis	Weeping Bottle Brush									•				•
Cedrus deodara	Deodar Cedar										•	•		
Cercis mexicana	Mexican Redbud		•											
Cercidium h. 'Desert Museum'	Thornless Hybrid Palo V.									•				
Chitalpa tashkentensis 'Pink Dawn'	Chitalpa											•		•
Cinnamomum camphora	Camphor Tree					•	•							
Cupaniopsis anacardioides	Carrotwood								•					
Cupressus sempervirens	Italian Cypress											•		•
Dracaena draco	Dragon Tree		•									•		
Lagerstroemia farnesia 'Hybrids'	Crape Myrtle									•	•	•		
Magnolia grandiflora 'D.D. Blanchard'	Southern Magnolia										•			
Melaleuca quinquenervia	Cajeput Tree								•					
Pinus canariensis	Canary Island Pine										•			
Pinus eldarica	Afghan Pine										•			
Pinus pinea	Italian Stone Pine										•			
Platanus acerifolia 'Bloodgood'	London Plane Tree			•						•				
Platanus racemosa (1)	California Sycamore	•					•		•					
Prosopis glandulosa 'Thornless'	Thornless Texas Honey Mesquite									•				
Pyrus calleryana 'Aristocrat'	Aristocrat Flowering Pear											•		•
Quercus agrifolia (1)	Coast Live Oak								•	•				
Rhus lancea	African Sumac									•				
*Schinus molle	California Pepper Tree	•												
Tipuana tipu	Tipu Tree							•						
*Tristania conferta	Brisbane Box		•		•		•				•			
Ulmus parvifolia 'True Green'	Evergreen Elm											•		
Umbellularia californica (1)	California Bay								•					

(\*) Denotes trees that are to be avoided in wind prone areas.

(1) Denotes trees that are native to California.

- Root barriers will be used, as necessary, to discourage root growth invasion on pavement.
- Average street tree spacing shall not exceed 30' o.c.
- All trees and plant materials shall correspond with the approved trees and plant list to reinforce community theme.
- All trees planted within turf areas will require arbor guards to prevent damage to the trunk.
- Understory trees and shrub masses should be planted in series of tiered layering (foreground, midground, background) to help define borders and plant groupings while combining interesting foliage textures and color.
- Background and screen trees shall be strategically planted behind sidewalks to help create a green backdrop supporting the street tree canopy.

Landscape development surrounding the community will help to establish the character, while maintaining consistency with the City of Lake Forest.

## Neighborhood-Level Streetscape Design

Neighborhood-level streetscape design within Serrano Summit shall be consistent in character with the community-level streetscapes and should promote pedestrian circulation throughout the community. The Neighborhood-level Streetscape Design shall consist of the following elements:

- Private Drive Streetscapes
- Private Alley Streetscapes
- Unique or Special Streetscape Scenarios

### *Private Drive Streetscape*

The landscape design should reinforce the distinct character of the neighborhood (or landscape tree districts) while still continuing the expression of the overall community image, and provide efficient pedestrian and vehicular circulation routes (See Exhibit 9-9).

The neighborhood streetscape should include:

- All trees and plant materials will correspond with the approved trees and plant list to reinforce community theme.
- Street trees will be at a minimum of 24" box with required caliper and dimension standards.

- Root barriers will be used to discourage root growth invasion on pavement.
- There should be strong connections between "Community Core" and neighborhood identity.
- Sufficient space must be provided between driveways and garden walls to allow for the growth of the tree trunks
- Thorn trees must be avoided in areas where children play or ride bicycles.
- Appropriate sized tree canopies scaled to fit the specific street as required. Small and medium sized canopy shade trees are encouraged.

### *Private Alley Streetscape*

Private lanes shall include a landscaped area on both sides of the lane when the paved area is a maximum of 24' in width (See Exhibit 9-10 and 9-11). The following criteria is to be followed wherever feasible:

#### **Condition 1**

When planter is less than 24" deep, provide a vertical decorative metal trellis support with (1) 5 gallon climbing vine and (2) 1 gallon accent shrubs at a minimum.

#### **Condition 2**

When a planter is more than 24" deep or greater, provide (1) 5 gallon minimum plant (column form) and (2) 1 gallon accent shrubs at a minimum.

#### **Condition 3**

For long linear foundation planters, provide (1) 5 gallon minimum plant (column form) at garage and 5 gallon plants (hedge form) at 24" o.c. for the duration of the building wall. Omit column form plant when planter is 18" to 24" deep.

All trees and plant materials will correspond with the approved trees and plant list to reinforce community theme.

### *Unique or Special Streetscape Scenarios*

This section is intended to address project-specific requirements that are outside of the standard template. Scenarios such as:

- Existing streetscape elements that are to be maintained or enhanced.
- Perimeters or streetscapes that abut large WQMP facilities.



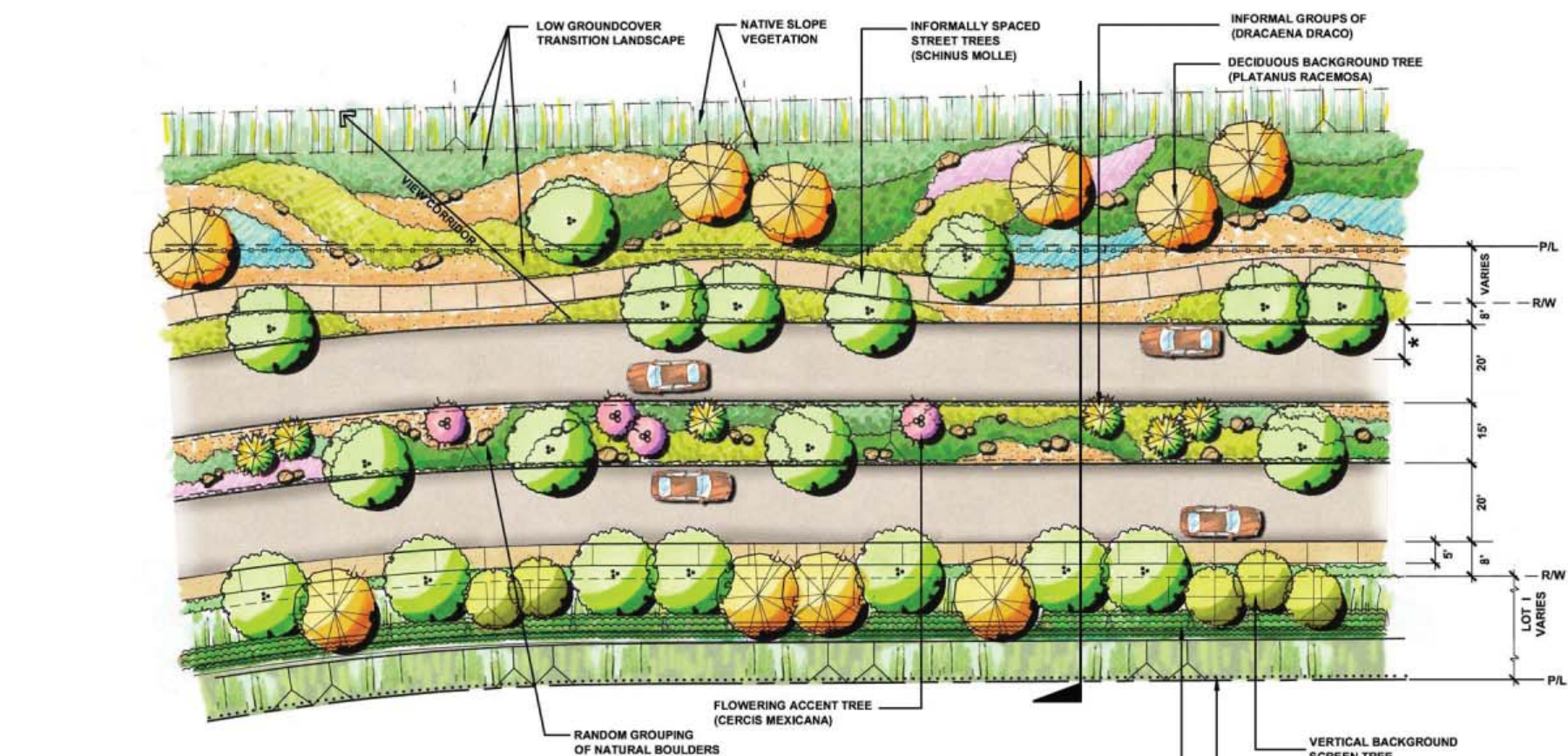
Entry points leading into the community are essential in creating a sense of place and identity for Serrano Summit. Community and neighborhood entry points shall use landscape design elements that reflect a relative hierarchy for entering each area of the community. The landscape design at the entrances shall be representative of the stylistic character of the area's design. The following are methods through which this hierarchy and continuity will be established:

- Entry points shall be accentuated through an enhanced landscape of accent plant material including trees, palms, shrubs and groundcovers.
- Changes in height, texture and color of plant material will highlight visibility, provide a skyline treatment and enhance the entry process

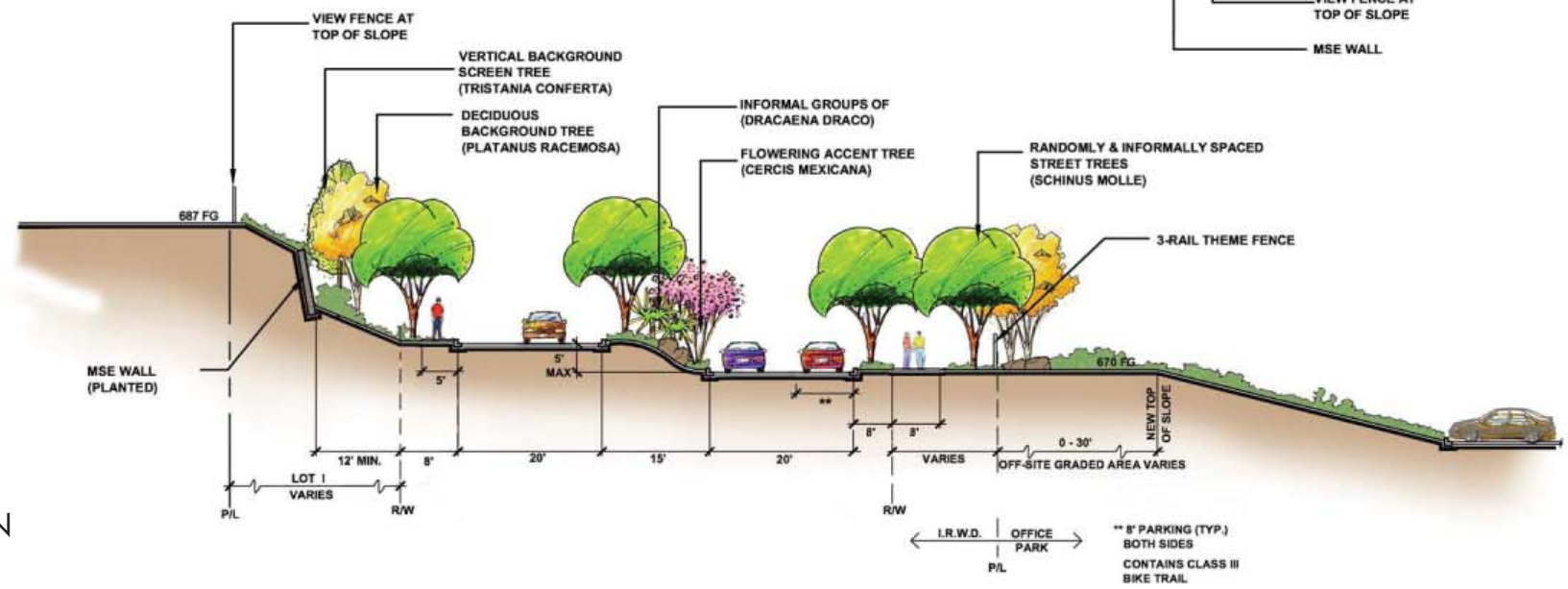


thereby introducing the overall landscape, direction and theme of Serrano Summit.

- Size and scope of the project's monumentation program should be reflective of the scale of the project. In smaller projects, primary and neighborhood monumentation may only be required to provide the appropriate sense of entry and the appropriate "way-finding" function whereas larger projects may require the entire scope of monumentation to provide the same function.
- Enhanced accent paving is encouraged at community entrances to define the entrance and provide traffic calming.
- Entry points shall have thematic signage and markers for identity and emphasis. Their design shall remain consistent throughout the entire community.
- Wall treatments on entry points may employ the use of rich colors and materials that ties in with adjacent architecture styles for character.
- Four basic monument treatments are used to create the hierarchy of the entries and monumentation: the Primary Community Entry and Monumentation, Secondary Community Entry and Monumentation, Neighborhood Monumentation and Public/Civic Monumentation.



PLAN VIEW



SECTION



Schinus molle  
(California Pepper Tree)



Cercis mexicana  
(Mexican Redbud)



Dracaena draco  
(Dragon Tree)



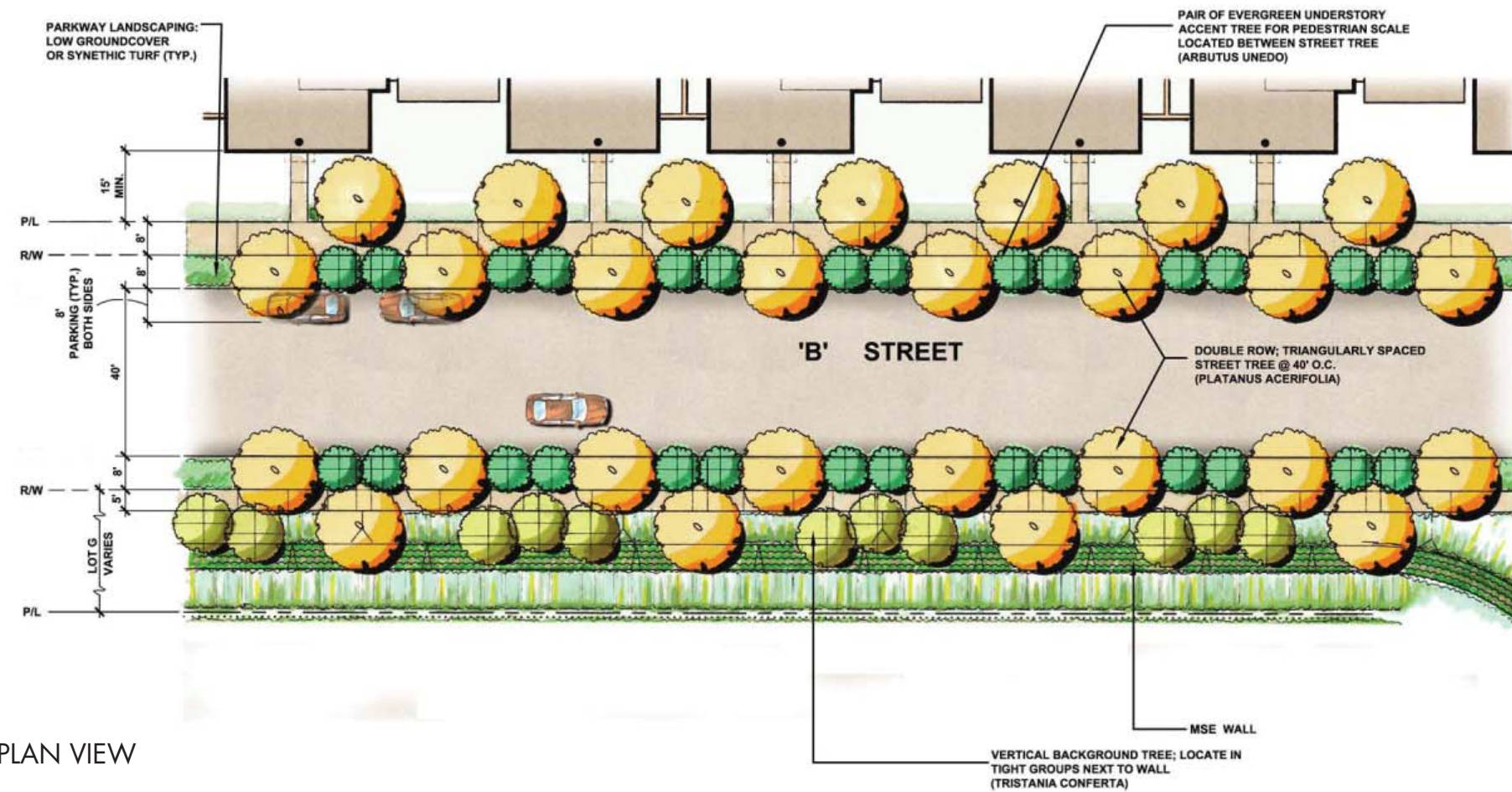
Platanus racemosa  
(California Sycamore)



Tristania conferta  
(Brisbane Box)

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PLAN VIEW



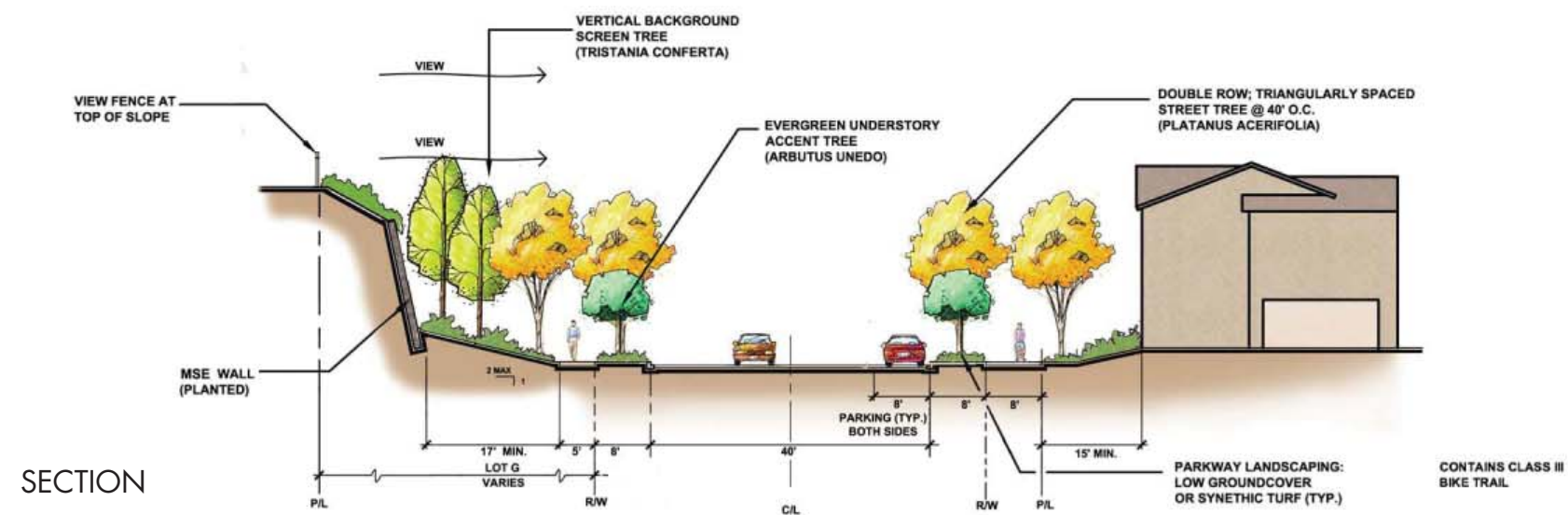
**Platanus acerifolia**  
(London Plane Tree)



**Arbutus unedo**  
(Strawberry Tree)



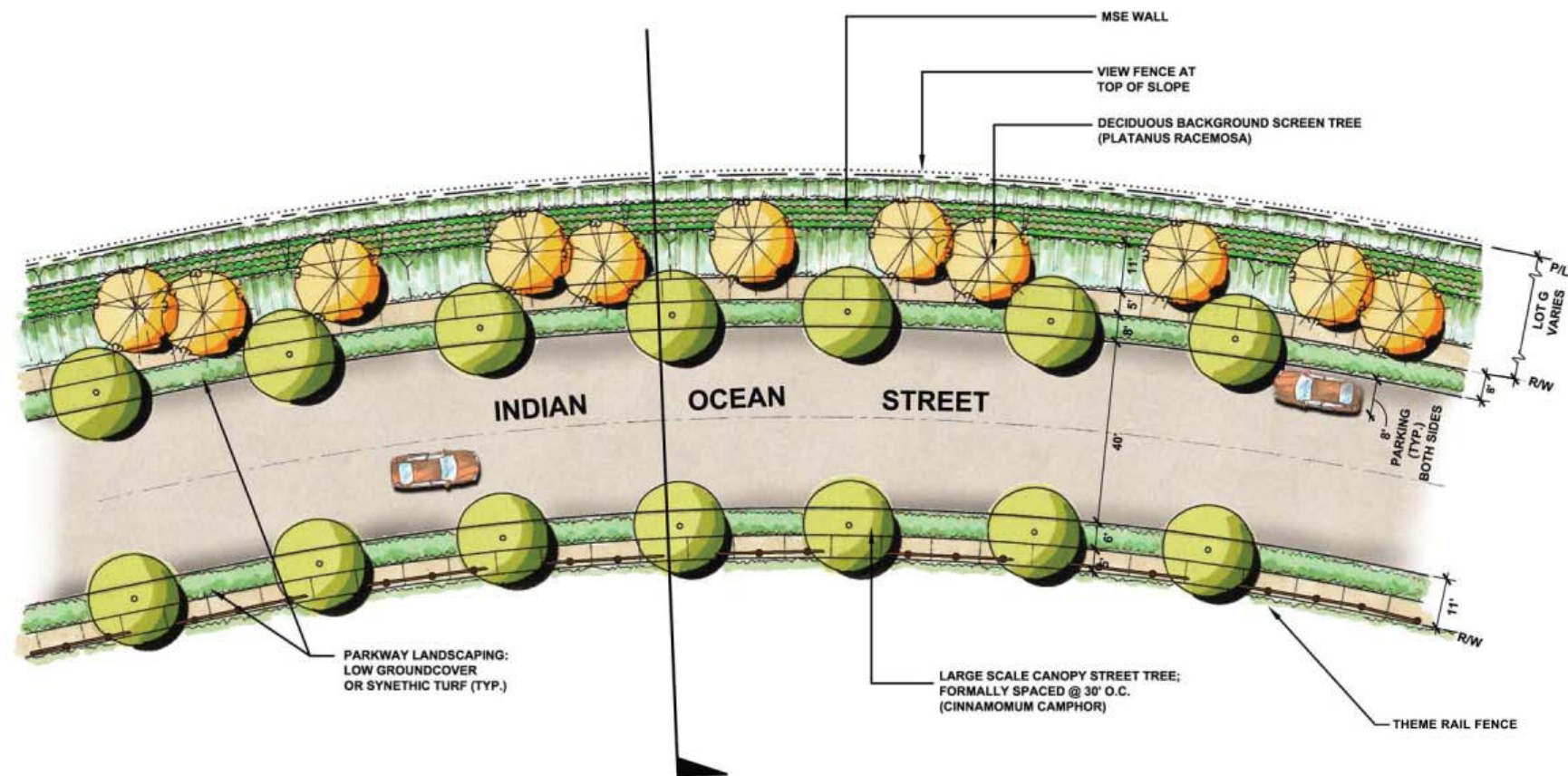
**Tristania conferta**  
(Brisbane Box)



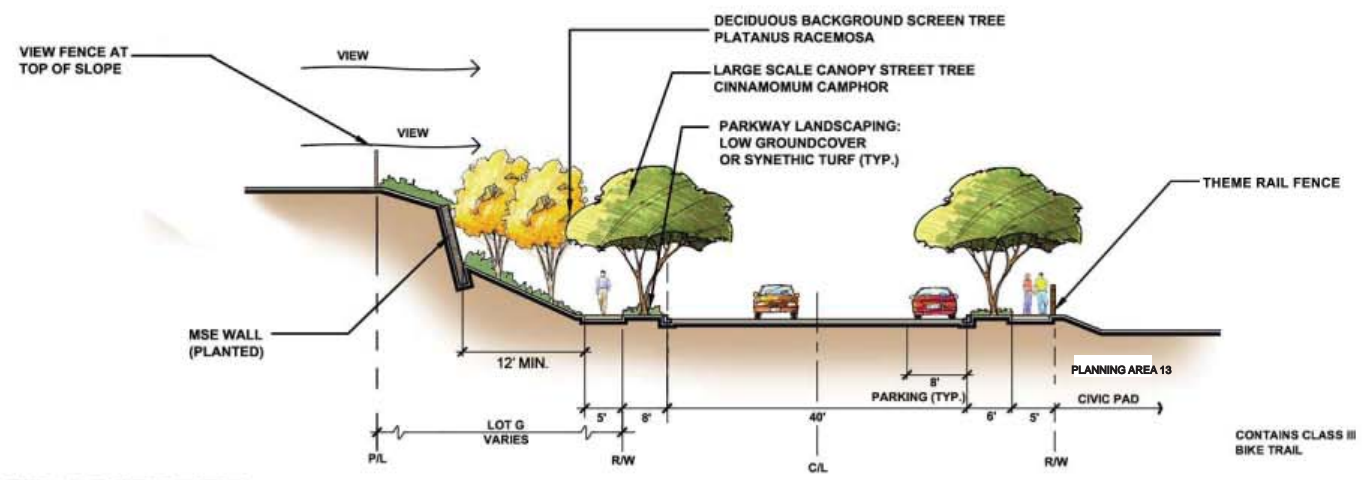
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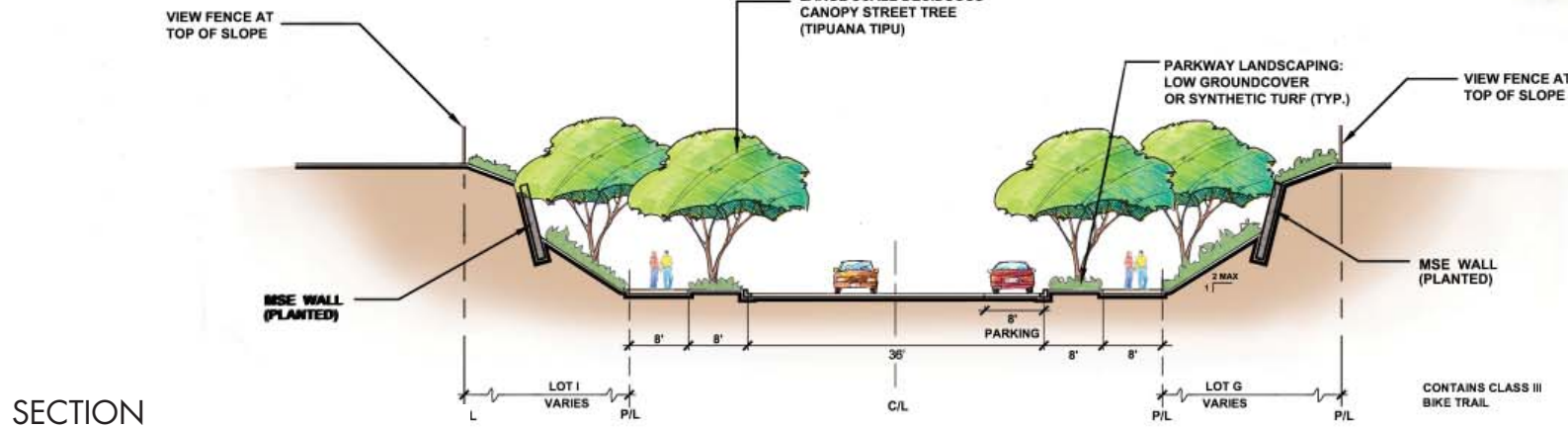
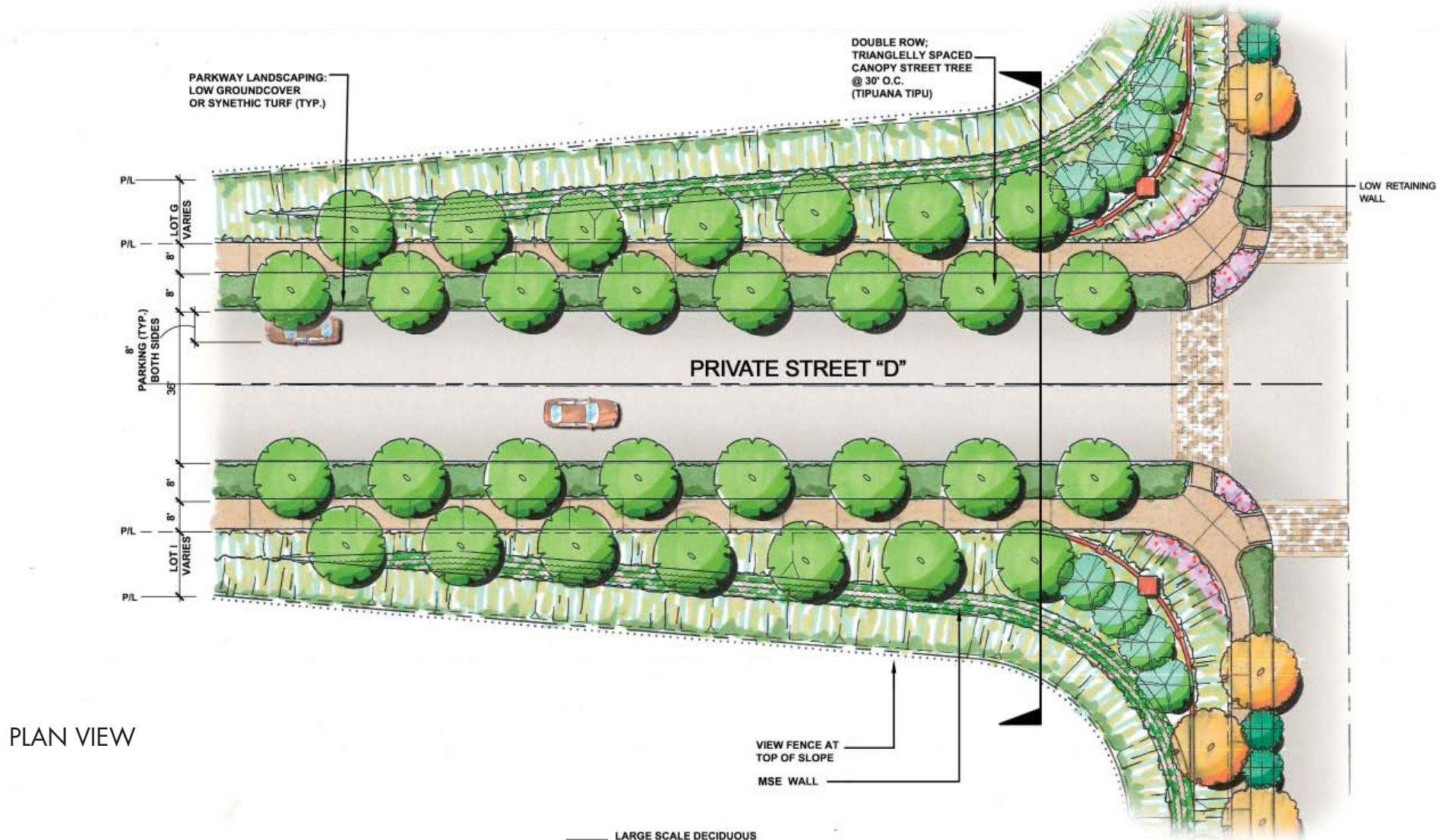
Platanus racemosa  
(California Sycamore)



Cinnamomum camphora  
(Camphor Tree)

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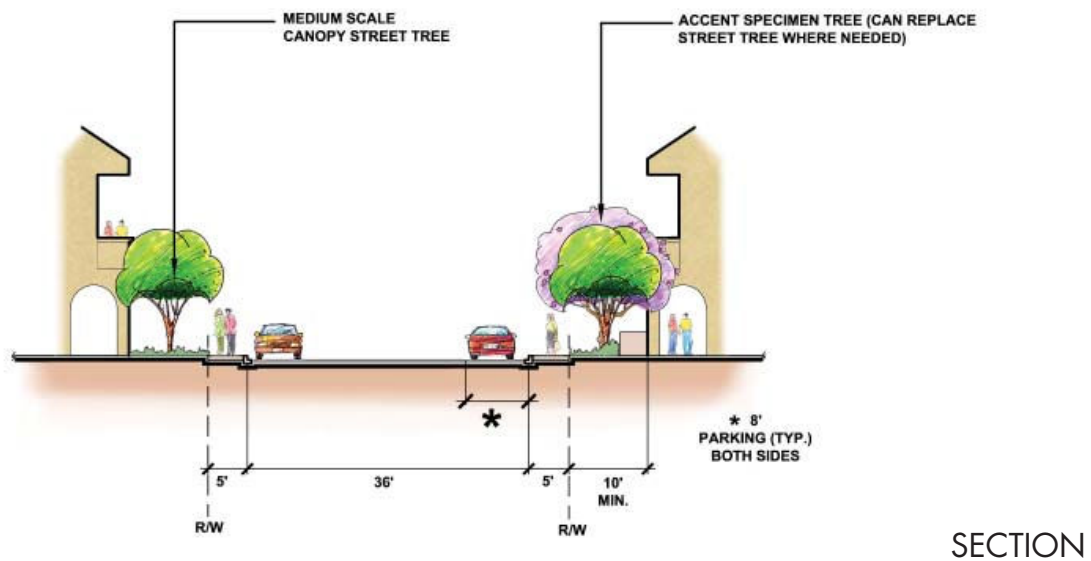
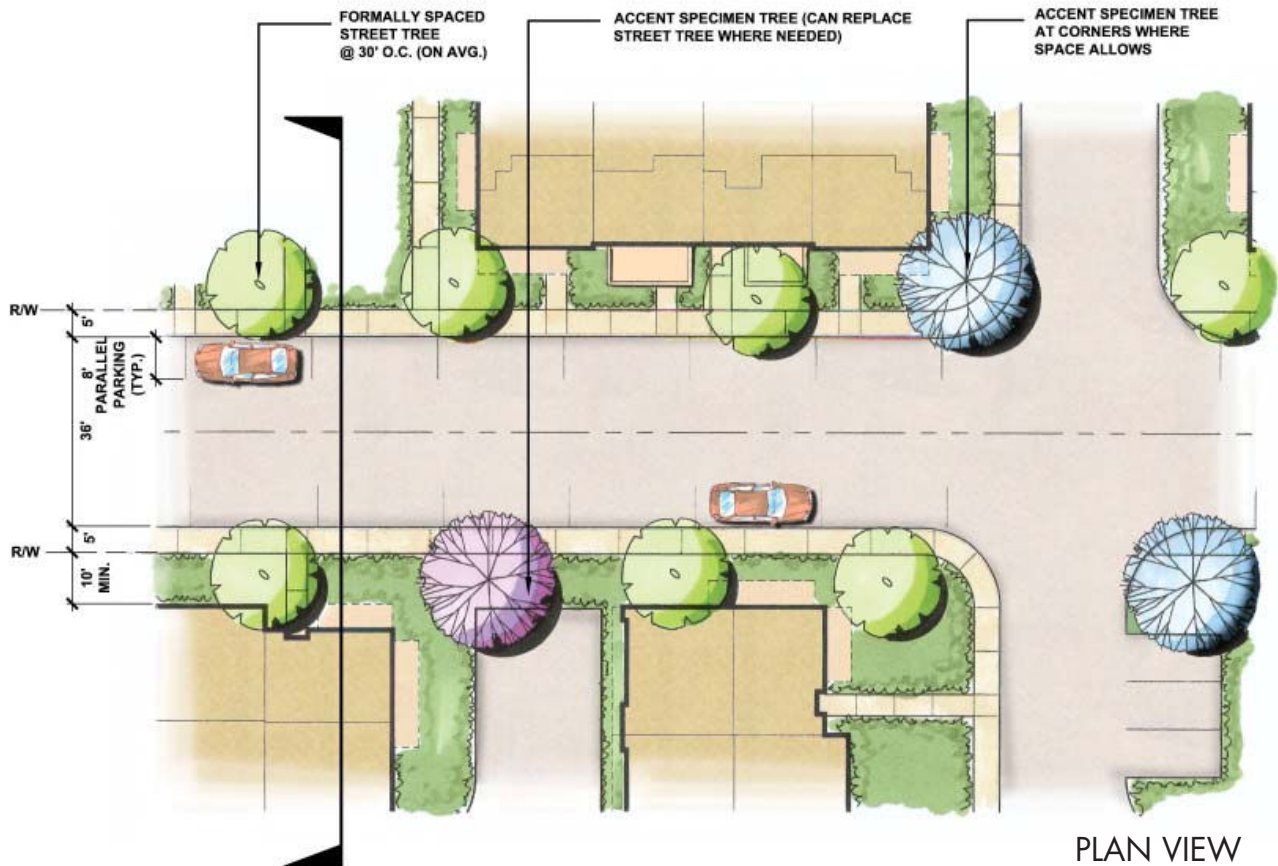




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# PRIVATE LOCAL STREET STREETSCAPE (WITH ON-STREET PARKING)

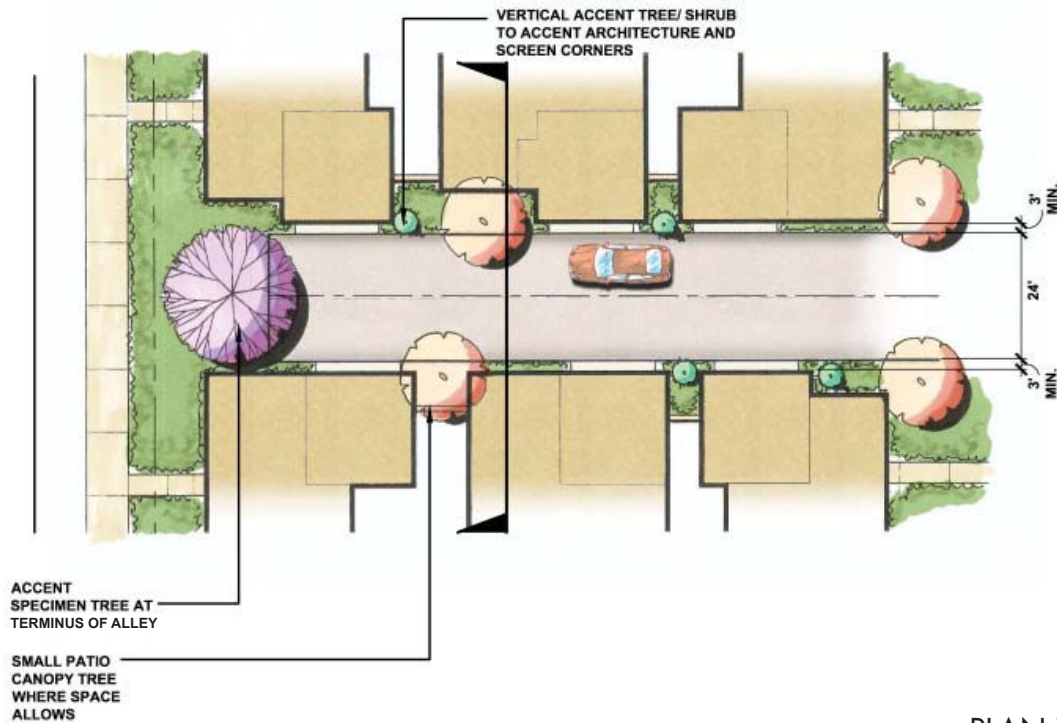
## EXHIBIT 9-8



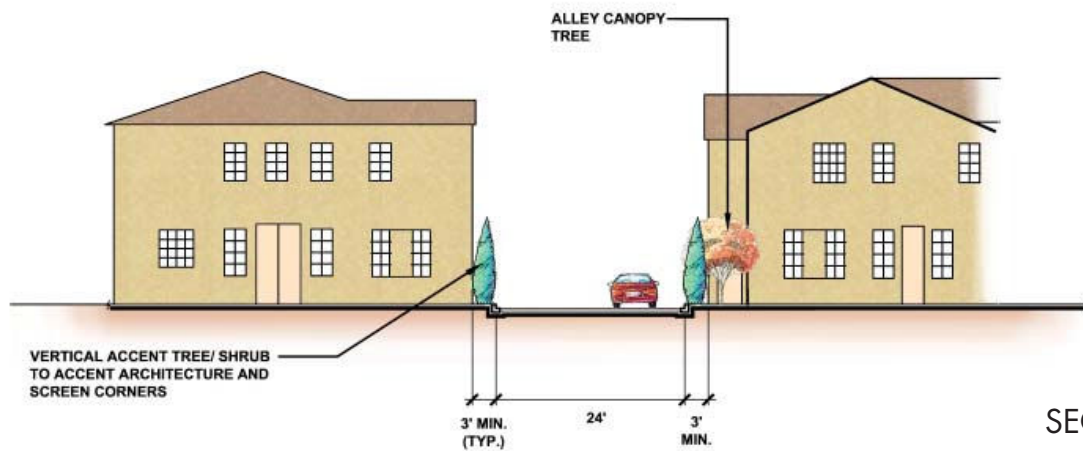


# PRIVATE ALLEY DRIVE STREETSCAPE - SINGLE FAMILY RESIDENTIAL

## EXHIBIT 9-9



PLAN VIEW

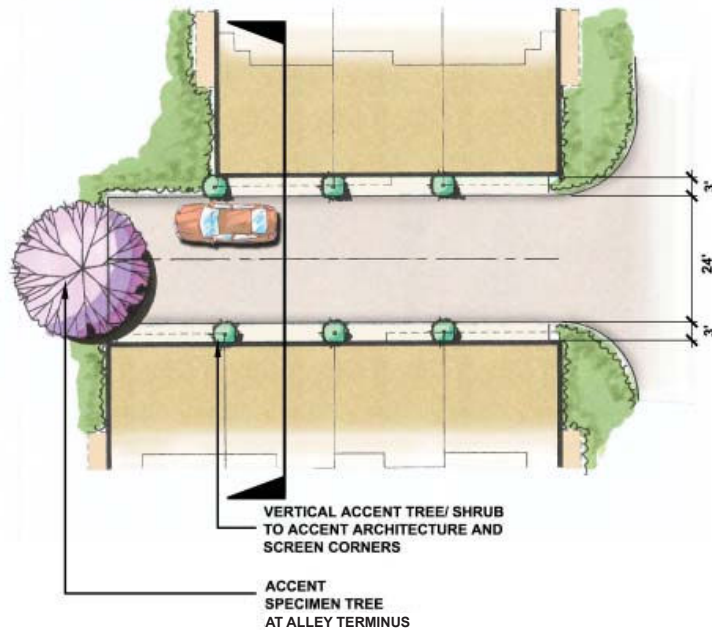


SECTION

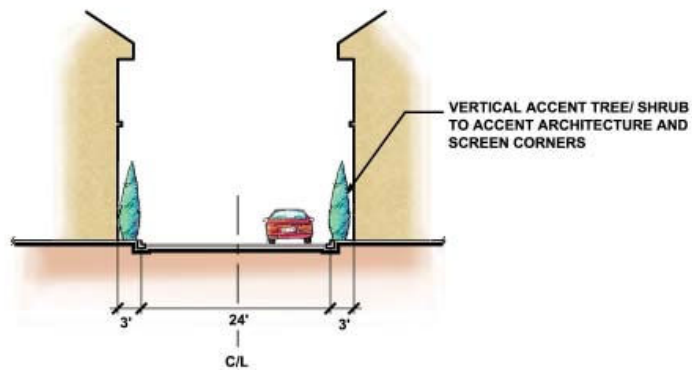


# PRIVATE ALLEY DRIVE STREETSCAPE - TOWNHOME

EXHIBIT 9-10



PLAN VIEW



SECTION

# COMMUNITY & NEIGHBORHOOD ENTRIES AND MONUMENTATION

9.8

## Community Entry & Monumentation

The key entries leading into the community are identified on (see Exhibit 9-1, "Conceptual Master Landscape Plan"). The purpose of the entries is to announce the community identity and establish the unique character and theme through Serrano Summit. The introduction of stylized plant groupings that reflect the architectural theme of the community landscape are central to the success of the Community Landscape Theme (see Exhibits 9-11 to 9-12).

### *Highlights*

- Community entries shall include tree-lined streets to announce arrival, enhance character and appeal that will inspire visitors and residents.
- All trees and plant materials shall correspond with the approved trees and plant list that corresponds to community theme and appropriate scale.
- Community entries shall have themed monumentation to enhance the arrival experience.
- Themed walls shall accent the entry process
- Monumentation should provide an appropriate area for community signage.
- Incorporate architectural caps, trims and bases to help delineate architectural detailing.
- Provide accent lighting of landscape/monumentation

### *Method*

- Use of focal evergreen trees with a minimum size of 48" box.
- Use of flowering accent trees with a minimum size of 36" box).
- Massing of a variety of minimum 5 gallon shrubs and groundcovers in planting beds located at entry points and roadways.
- A mixture of decomposed granite, decorative rock and boulders may be utilized to create the ground plane within the entry and median:
- Stone Veneer finish shall be El Dorado Molano with rustic "overgrout" application or similar.

- Enhanced paving shall be 80 mm thick antique cobble or stamped A.C. paving.

## Iconic Intersection Landscape Treatment

There shall be a special landscape treatment created at the intersection of 'B' Street and 'D'/'E' Streets (private) as shown on Exhibit 9-1, Conceptual Landscape Plan. The intersection landscape design shall make use of unique plant material such as accent plantings.

### *Highlights*

- All trees and plant materials shall correspond with the approved trees and plant list that corresponds to neighborhood theme and appropriate scale.
- Enhanced walls shall accent the entry process
- Incorporate architectural caps, trims and bases to help delineate architectural detailing.
- Provide accent lighting of landscape/monumentation
- Enhanced paving at the 'B' Street/'D'/'E' Streets (private) intersection not only accentuates the intersection, but also encourages slower vehicular movement and improve pedestrian mobility and safety. This paving shall reflect the overall image of the project.

### *Method*

- Use of focal evergreen trees with a minimum size of 36" box.
- Massing of a variety of a minimum of 5 gallon shrubs and groundcovers in planting beds located at entry points and roadways.
- Secondary entries shall have themed monumentation to enhance arrival experience.
- A mixture of decomposed granite, decorative rock and boulders may be used to create the ground plane within the entry and median:
- A minimum of one five-foot wide sidewalk located on one side of the street shall be provided to allow for pedestrian circulation.
- Stone Veneer finish shall be El Dorado Veneto Field Ledge with standard grout or similar.

- Enhanced paving shall be 80 mm thick Molano Hillstone with rustic “overgrout” application.

## Neighborhood Entries

At each of the four corners within the iconic intersection (intersection of ‘B’ Street and private ‘D’/‘E’ Streets) there is an opportunity to provide individual neighborhood “markers” or “signage.” These markers will be the “neighborhood entries” and are designed to be simple pilasters in an Early Rancho theme. Smooth “white wash” stucco columns sit upon rustic stone veneer bases which match the pilasters of the Theme Rail Fence. Within the center of the stucco column there is an opportunity for a builder to “brand” their neighborhood by providing a tile or painted fresco within a provided inset niche. The brand logo or signage should be in the Early California motif. The stucco and cap portion of the pilaster should be consistent at all four columns. The configuration of the stone base may vary depending on site specific grading relationships.



View of Existing Terminus of Indian Ocean Drive



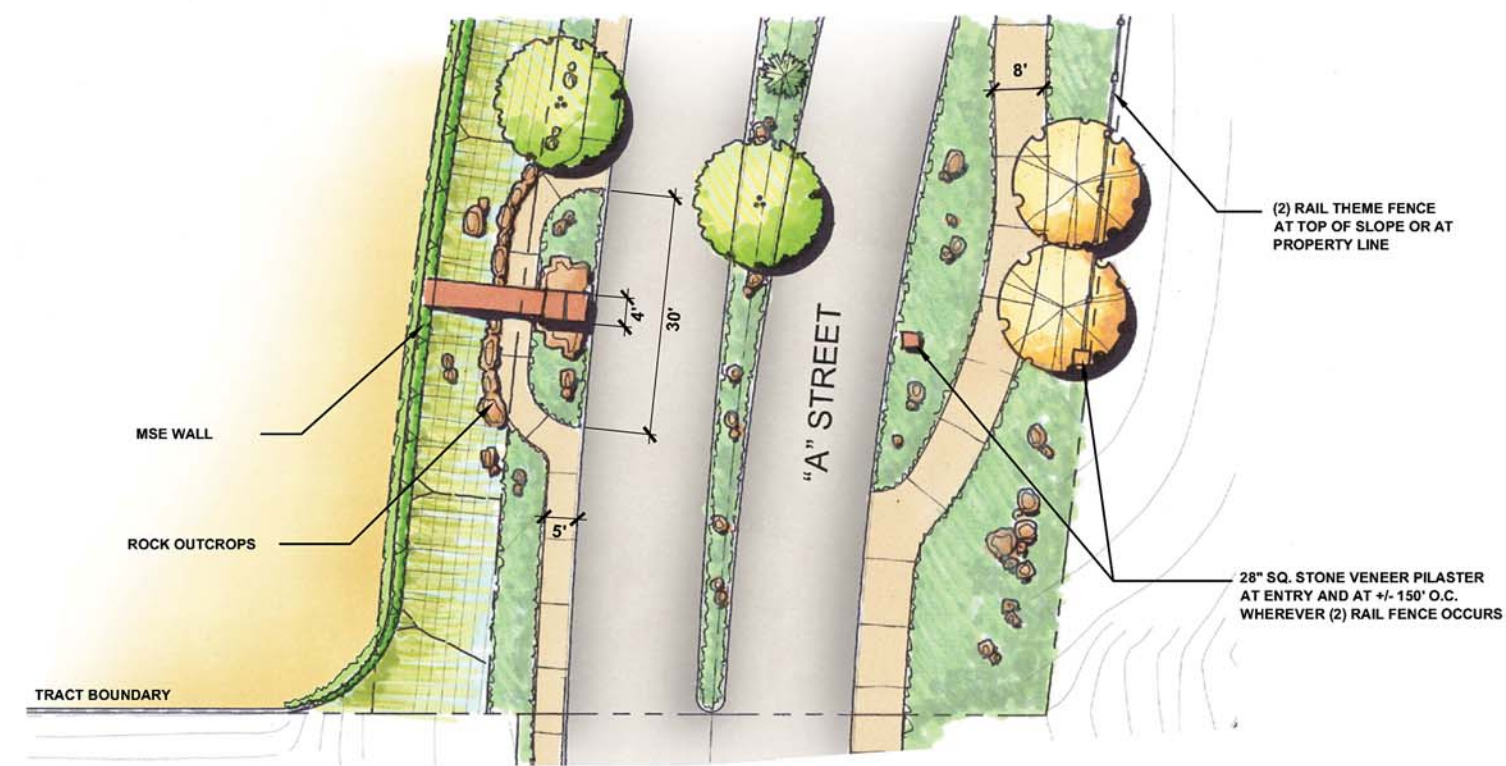
View of Existing Terminus of Biscayne Drive



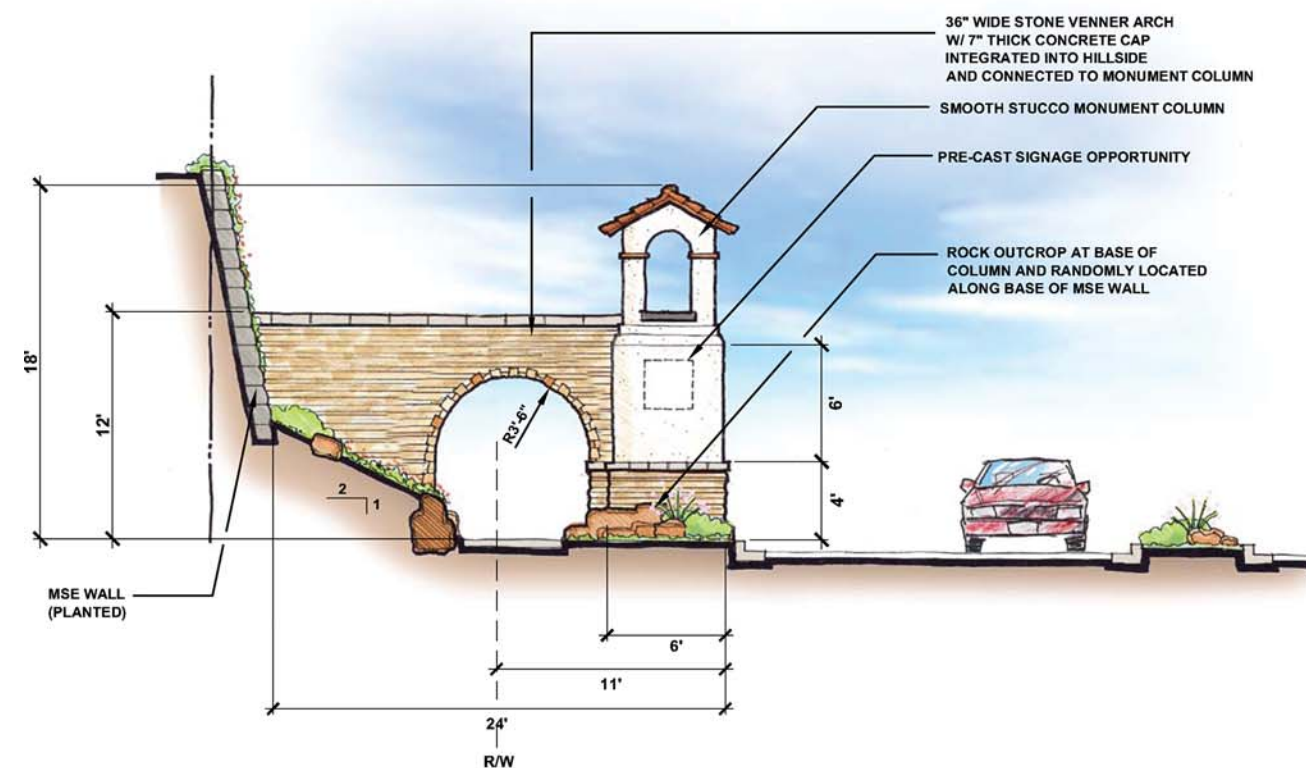
View of Typical Roundabout

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STONE VENEER PILASTER

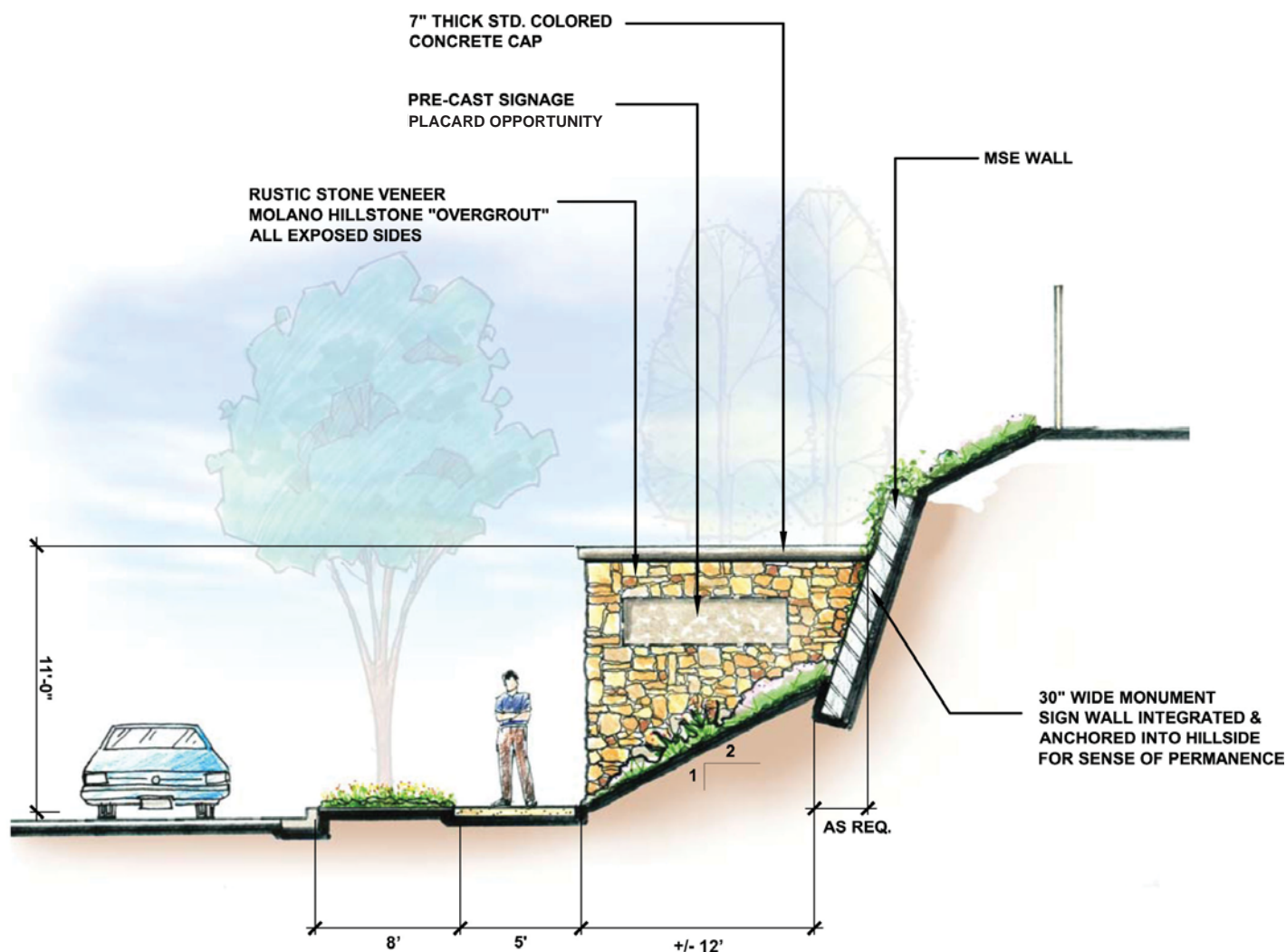


MOLANO HILLSTONE W/ RUSTIC "OVERGROUT" APPLICATION

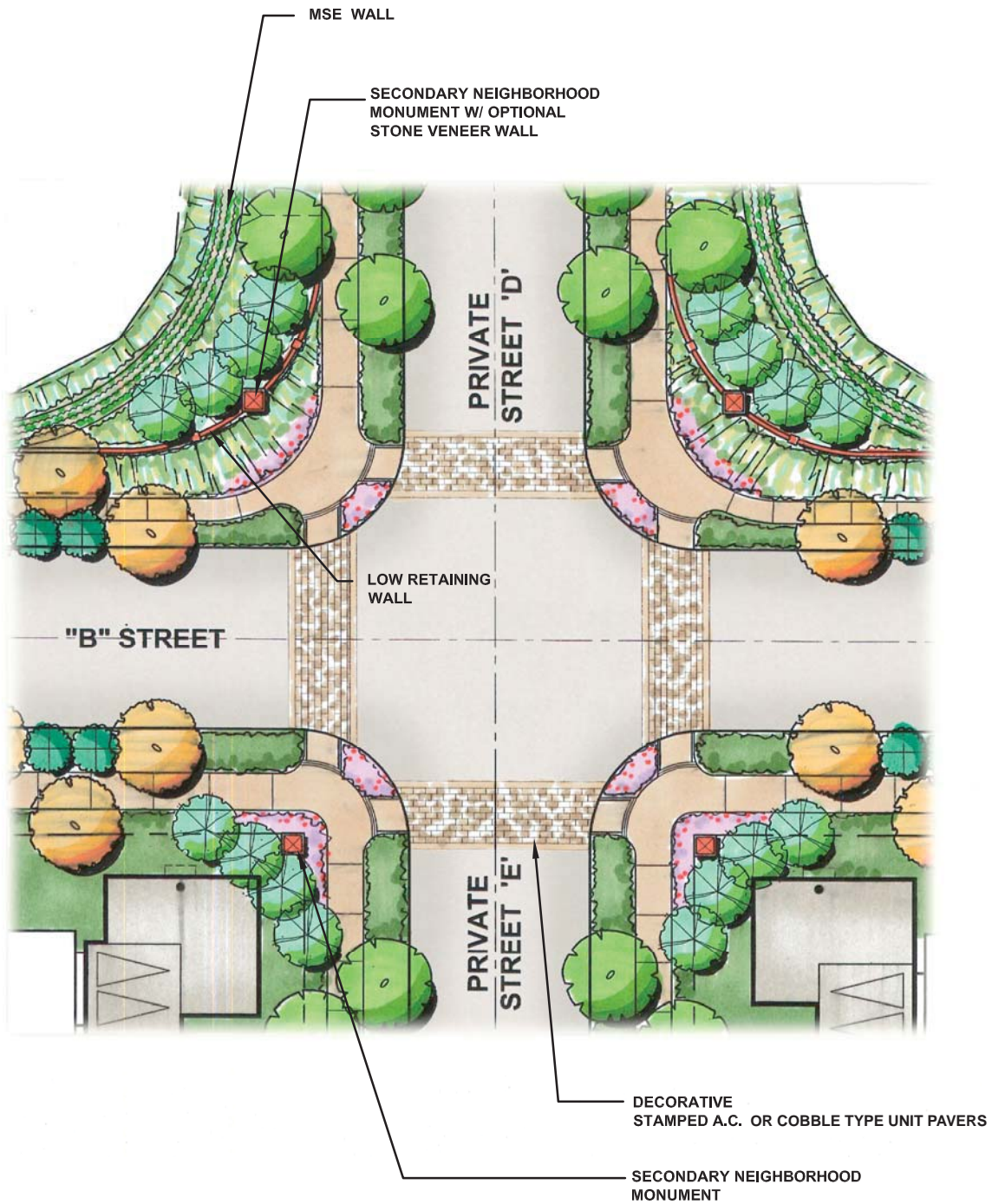
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# COMMUNITY ENTRY & MONUMENTATION AT INDIAN OCEAN DRIVE

## EXHIBIT 9-12



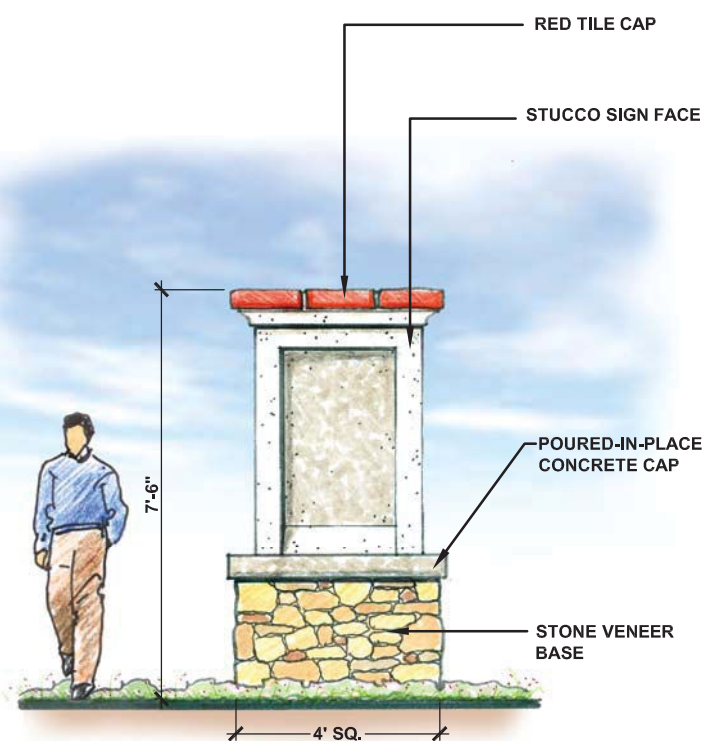
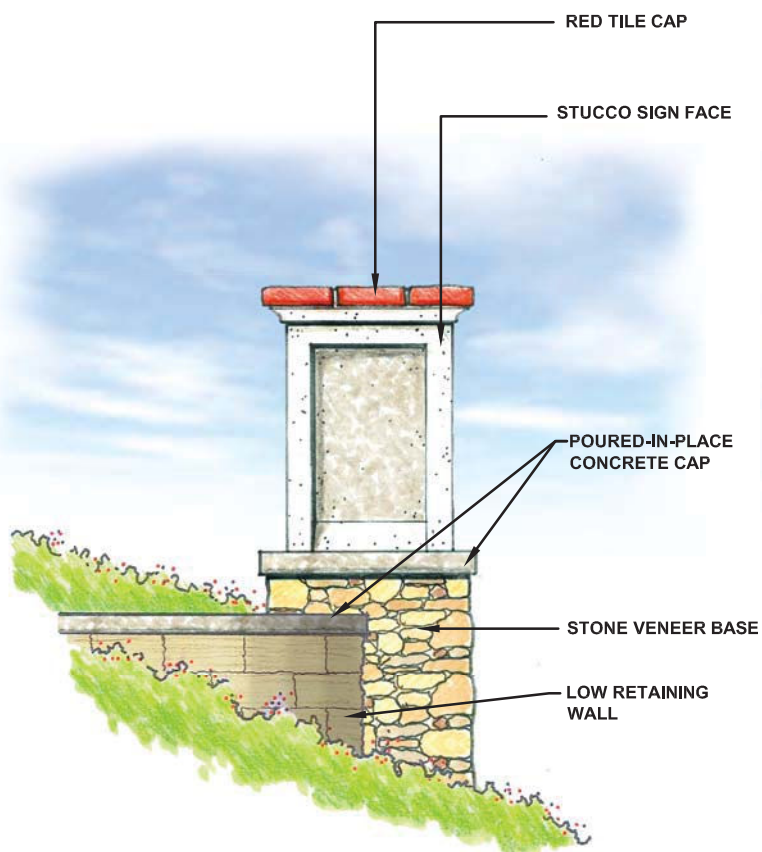
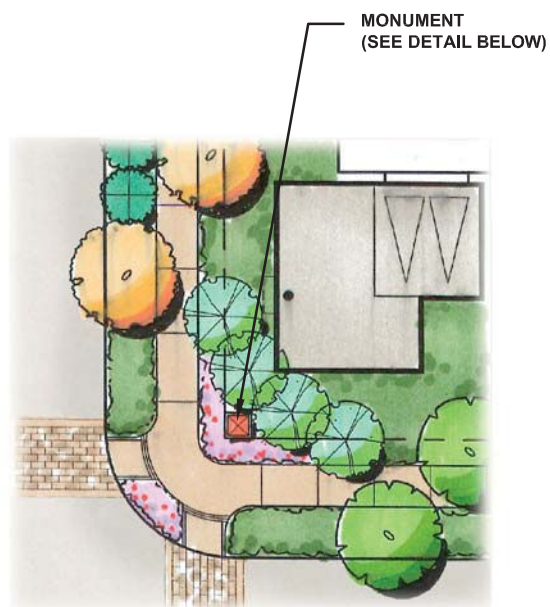
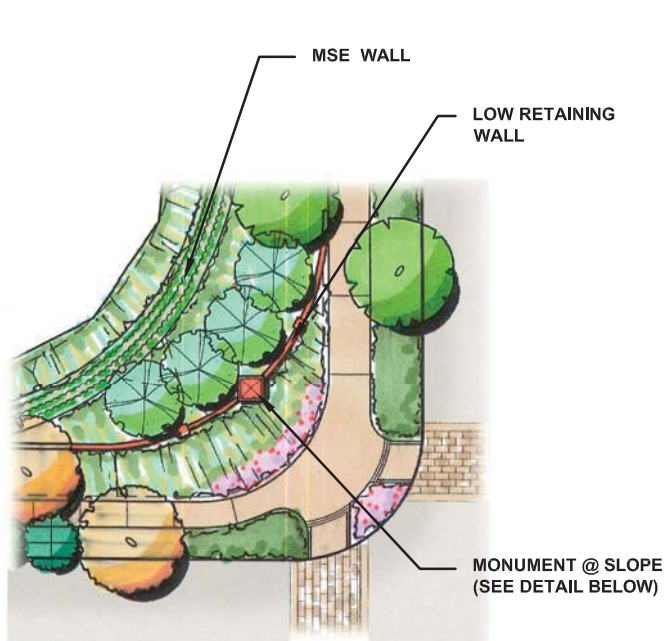






# NEIGHBORHOOD ENTRY & MONUMENTATION

## EXHIBIT 9-14



SERRANO SUMMIT AREA PLAN

## RESIDENTIAL LANDSCAPE DESIGN

## 9.9

**Introduction**

Residential landscape design application should bring aspects of the overall community's design theme into the individual neighborhoods. The Area Plan encourages a variety in design to allow each neighborhood its own individual character, while ensuring compatibility with the overall design of the community. The following section addresses these neighborhood design principles.

**Neighborhood Design Principles**

One of the goals of this section is to enact a process that will create neighborhoods cohesion. This cohesion will allow for connectivity within and between adjoining neighborhoods by addressing the larger, open space areas within a neighborhood in a manner that promotes physical action and social interaction. In addition, this process will address smaller, appropriately scaled and landscaped spaces, which enhance the neighborhood interaction experience at a more intimate level.

The neighborhood component has several key design elements that must be considered in order to achieve the goals that this section sets forth:

- Landscape plantings in public areas should develop a "sense of place" and maintaining harmony within Serrano Summit.
- Size of trees and placement will be appropriate with neighborhood scale. Opportunities for summer shade and sunlight penetration shall be considered.
- Screen and soften undesirable views while promoting and framing more desirable views and vistas that the community has to offer.
- Arrangement of climate-appropriate plants should incorporate the concepts of mass planting; plants should be placed to allow them to grow to their natural sizes and forms, and sheared hedges should be kept to a minimum.
- An overall theme of water conservation shall be represented throughout each neighborhood in the manner that the front yard landscapes are to be designed and maintained.

- Drip irrigation principals are to be used where appropriate
- Refer to the Master Plant Palette (Section 9-14) for exact plant types to be used within Serrano Summit.

***Single Family Detached***

The landscape design for traditional Single Family Detached neighborhood developments shall serve the purpose of creating a "sense of place" and identity within each development.

The following concepts shall be included:

- Each single-family lot shall be provided with front yard landscaping with a permanent automatic irrigation system. At a minimum, turf or groundcover, appropriate size shrubs and trees shall be provided as landscaping materials. A variety of typical landscape designs shall be provided based upon each building type within the subdivision.
- Landscape and irrigation drawings for each development shall be submitted in conjunction with Site Development Plan or Use Permit for the residential development. These landscape plans should also be reflected on the house construction plans. The plans shall be reviewed by the Planning and Building Departments prior to the issuance of building permits.
- Turf should be planted in functional active areas only.
- The landscape will feature a mixture of trees, shrubs and groundcovers with different shapes, textures and colors that will coordinate with the landscape theme of Serrano Summit.
- Trees shall be planted in informal clusters to create dynamic rhythm and avoid monotony of evenly spaced trees.
- Sizes of trees and placement will be appropriate with neighborhood scale. Opportunities for summer shade and sunlight penetration shall be considered.
- Shrub design and layout should respect the "Tiered Landscape" criteria previously outlined herein.
- Plant accent shrubs to highlight home entries.

### Single Family Detached Enclave

The landscape design for the Single Family Detached Enclave developments shall create a unifying element for that neighborhood.

The following concepts shall be included:

- To foster a more dynamic and interesting landscape, the use of specimen trees, unusual clustering, or an accent tree shall be planted at focal points to create “planned surprises” within the neighborhood.
- Open space and common area amenities are encouraged to help promote a sense of community and social interaction within each parcel.
- Typically, Detached Enclave Building layouts can produce landscaped planters of varying sizes. Plants that can thrive in such spaces shall be chosen.
- The location, configuration and quality of the private open spaces for each unit are extremely important. It is highly encouraged to promote natural light penetration into these spaces to increase visibility and livability.
- Planter pockets need to be strategically located throughout the landscape to screen and soften undesirable views as required.
- When deemed necessary to improve the quality of private open space areas, low courtyard walls may be located adjacent to sidewalk or walkways with a landscape buffer.
- The landscape will feature a mixture of trees, shrubbery and groundcovers with different shapes, textures and colors that will tie in with the landscape theme of Serrano Summit.
- Informal tree clustering will be placed on harsh sun exposures for shade and passive cooling during harsh summer days and creating opportunities for people places.
- Shrub design and layout should respect the “Tiered Landscape” criteria previously outlined herein.
- Planting design should help to identify and support common areas, gathering spaces, significant walkway intersections and bring attention to specific areas such as pedestrian crossings at roadways.
- Plant accent shrubs to highlight home entries.

### Single Family Attached & Multi-Family Attached

The landscape design for the Single Family Attached and Multi-family Attached developments shall serve the purpose of a unifying element for all that live within that neighborhood.

The following concepts shall be included:

- Open space and common area amenities are encouraged to help promote a sense of community and social interaction within each parcel.
- The site design for both Single Family Attached and Multi-family Attached developments should allow for a hierarchy of landscape open spaces from “large” gathering areas, to “semi-private” open space, to smaller, more “intimate” spaces. The design of each of these types of spaces must be appropriate in scale and function, and reinforce the overall theme.
- Typically Single Family Attached and Multi-Family Attached building layouts can produce landscaped planters of varying sizes. Plants that can thrive in such spaces shall be chosen.
- The location, configuration and quality of the private open spaces for each unit are extremely important. It is highly encouraged to promote natural light penetration into these spaces to increase visibility and livability.
- Planter pockets need to be strategically located throughout the landscape to screen and soften undesirable views as required.
- When deemed necessary to improve the quality of private open space areas, the courtyard walls may be located adjacent to sidewalks or walkways.
- Trees should be strategically located to help mitigate any second floor window to window incursion and screen private open space at the ground level.
- Informal tree clustering will be placed on harsh sun exposures for shade and passive cooling during harsh summer days and creating opportunities for people places.
- Where applicable, tree/plant massing will be planted informally to break the monotonous pattern of equal spacing and create for a more vibrant rhythm.



- Shrub design and layout should reflect the “Tiered Landscape” criteria previously outlined herein.
- Planting design should help to identify and support common areas, gathering spaces, significant walkway intersections and bring attention to specific areas such as pedestrian crossings at roadways.
- Plant accent shrubs to highlight home entries.
- The landscape will feature a mixture of trees, shrubbery and groundcovers with different shapes, textures and colors that will tie in with the landscape theme of Serrano Summit.
- To foster a more dynamic and interesting landscape in Single Family Attached and Multi-family Attached developments, the use of unusual clustering or accent trees shall be planted to create unique elements within the neighborhood

### *Interior Slope Landscape Design (Where Applicable)*

- Construction of interior slope landscape for slopes larger than 5' high shall be the entire responsibility of the parcel developer.
- Soil stabilization is the primary importance of slope plantings, therefore, appropriate deep-rooted and/or fast surface covering plant material is encouraged.
- All trees and plant materials selected shall correspond with the approved trees and plant list to reinforce community theme.
- Trees will be at a minimum size of 15 gallons with required caliper and dimension standards with one tree per 500 square feet of slope area.
- All shrubs shall be a minimum of one gallon in size with one shrub per 36 square feet of slope area.
- Hand planted ground cover shall be planted with a maximum spacing of 18" o.c. or less to ensure 95% slope coverage after 18 months.
- Considerations for permanent hydroseeding, with long-lived plant species within the seed mix, will be considered as an acceptable alternate to hand-planted groundcover material.



**Typical Layered Slope Plantings**

# COMMUNITY TRAIL

## 9.10

The Community Trail can provide a dual purpose for the residents of Serrano Summit. The community trail is a designed network of landscaped pathways that provides a “walkable” connection for the residents through landscaped areas to the parks, recreation center or Civic Center and open space. It will also connect with the Serrano Creek Regional Trail.

The following concepts shall be included:

- The trail provides for small gathering spaces encouraging opportunities for social interaction among neighbors, and promotes a healthy community.
- The trail will have pathways running alongside an aesthetic landscape; dotted with an assortment of trees and a variety of shrubs, groundcovers and rockscape creating for a more sensory, walk-through experience.
- The trail will have a block wall for site enclosure when adjacent to resident's property.
- Signage shall be easily visible and be harmonious with the community theme design.
- A variety of canopy trees shall be strategically located to provide a “shade oasis” at specific intervals and seating node locations to add comfort for pedestrians using the trail.

Sidewalks within Serrano Summit will vary in width from 5' minimum (along Indian Ocean Drive) to 8' (along 'A' Street, 'B' Street, and private 'D' and 'E' Streets). The multi-purpose trail between the Civic Center and Passive Park will be constructed as an approximately 20 foot wide all-weather access. Trails may be constructed of a variety of materials including, but not limited to, concrete and/or decomposed granite.



Formal Walkway



Nature Trail



Decomposed Granite Pathway

# NEIGHBORHOOD PARKS

## 9.11

Neighborhood parks present an opportunity for shared recreation and sports between neighbors for Serrano Summit, thereby fostering relationships and building a healthy community. The landscape design allocates spaces for these activities where passive and active recreation come together.

Modern park design encourages visibility to the parks, causing their associated activities to become an integral part of the community fabric. This visibility makes it easy for nearby residents to look into park activities and conduct frequent surveillance of the park as part of the everyday fabric of their lifestyle. These design features, designed to connect residents, will promote public safety and security, as well as minimize park vandalism.

There shall be a distinct edge created between private property and any city-owned parkland. This edge shall consist of a landscape buffer, street or alleyway, or other separation acceptable to the City of Lake Forest. In addition, walkways to individual dwelling units shall be separate from park walkways.

In addition, neighborhood parks shall be designed to enhance the comfort of those using the facilities. For example, the following concepts are encouraged:

- Overhead structures such as trellises, arbors, archways shall have opportunities for shade. Their design shall tie in with the community's character and theme.
- Site furnishings such as picnic tables, barbecues, benches, waste receptacles and other site amenities in a consistent design in accordance with the Serrano Summit theme
- Signage shall be easily visible and be harmonious with the community theme design.
- All trees and plant materials selected will correspond with the approved trees and plant list to reinforce the community theme.
- Trees will be a minimum of 15 gallon size to provide opportunities for shade and seasonal change for accenting.
- Massing of shrubbery is encouraged along the perimeter of the wall or slope.
- One required handicap parking space per park (applies to Planning Areas 15 and 16) shall be provided, on or off-site. Street parking is acceptable. The Serrano Summit community is

designed to encourage residents to walk and bike to the parks using the sidewalks, paseos and trail on-site. On-street parking for parks will be provided.

Pursuant to the Development Agreement, the neighborhood parks in Planning Areas 15 and 16 will include the following:

- Minimum Improvements:
  - ~ Construction water, WQMP, BMPs
  - ~ Temporary utilities
  - ~ Site grading, rough
  - ~ Site grading, fine
  - ~ Site drainage
  - ~ Utility connections
  - ~ Hardscape, sidewalks, minimum 5' wide, concrete
  - ~ Hardscape, mow-strip, concrete
  - ~ Turf, sod
  - ~ Shrubs, minimum 5 gallon size
  - ~ Trees, minimum 15 gallon size
  - ~ Mulch/soil preparation
  - ~ Automatic irrigation systems with computer and communications
  - ~ Automatic security lighting system with communications
  - ~ ADA universal signage
  - ~ City standard park identification sign and park rules sign
  - ~ ADA accessible path of travel
  - ~ Concrete pavement under tables and seating
  - ~ Athletic field and/or courts
  - ~ 1 Tennis court, volleyball court or basketball court
  - ~ Spectator seating
  - ~ Tables, benches, trash cans, drinking fountains and barbecues
    - 1 Group barbecue with 4 tables or 2 family barbecues with 2 tables per barbecue
    - 1 Drinking fountain per field, court and picnic area
  - ~ Play lots appropriate by age group
    - 1 Tot area
    - 1 adjacent bench

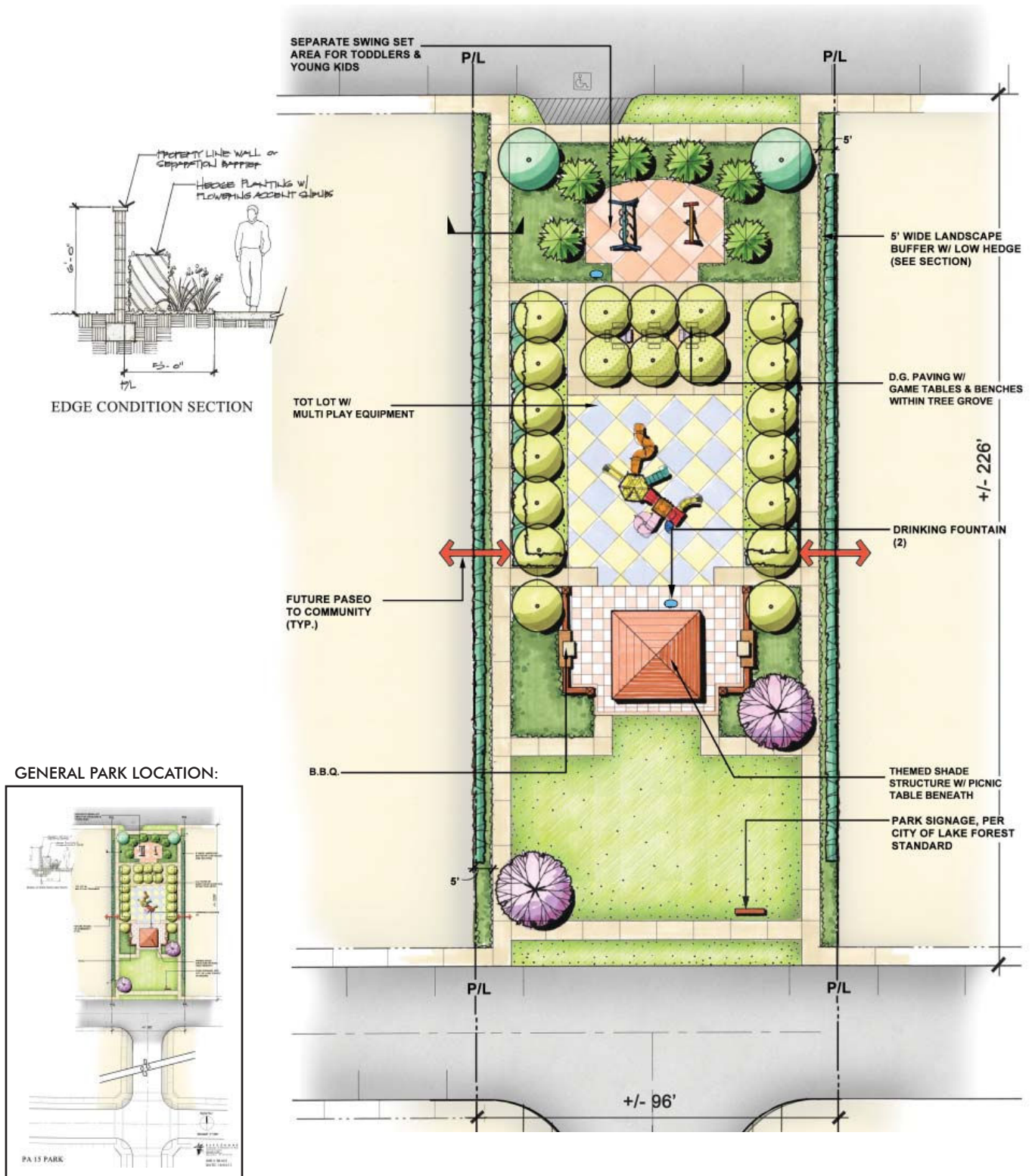
Pursuant to the Development Agreement, the passive/nature park in Planning Area 17 will include the following:

- Minimum Improvements:



# NEIGHBORHOOD PARK DESIGN (PLANNING AREA 15)

## EXHIBIT 9-15

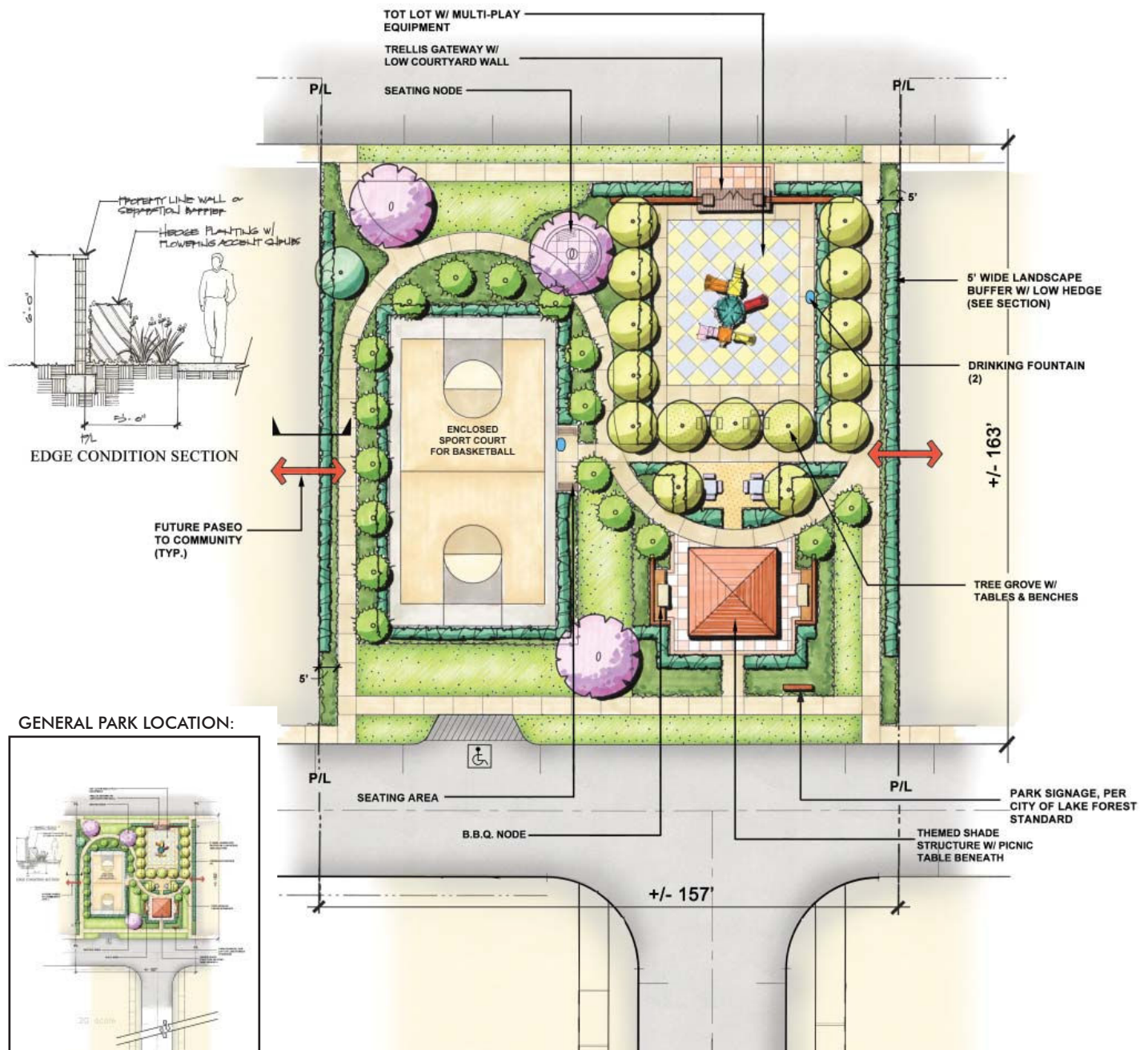


This exhibit is provided as the Precise Design.

SERRANO SUMMIT AREA PLAN

# NEIGHBORHOOD PARK DESIGN (PLANNING AREA 16)

## EXHIBIT 9-16



This exhibit is provided as the Precise Design.



# PASSIVE / NATURE PARK DESIGN (PLANNING AREA 17)

## EXHIBIT 9-17



This exhibit is provided as the Precise Design.

SERRANO SUMMIT AREA PLAN



- ~ Construction water, WQMP, BMPs
- ~ Temporary utilities
- ~ Site grading, rough
- ~ Site grading, fine
- ~ Site drainage
- ~ Utility connections
- ~ Walkways/paths, minimum 5' wide, decomposed granite
- ~ Hardscape, mow-strip, concrete
- ~ Turf, sod
- ~ Shrubs, minimum 5 gallon size
- ~ Trees, minimum 15 gallon size
- ~ Mulch/soil preparation
- ~ Automatic irrigation systems with computer and communications
- ~ Automatic security lighting system with communications
- ~ ADA universal signage
- ~ City standard park identification sign and park rules sign
- ~ ADA accessible path of travel
- ~ Concrete pavement under tables and seating
- ~ Tables, benches, trash cans, drinking fountains and barbecues
  - 1 Group barbecue with 4 tables or 2 family barbecues with 2 tables per barbecue
  - 1 Drinking fountain
- ~ 1 Shade structure for group recreation purposes, minimum 50%
- ~ Hitching posts
- ~ Watering trough

For the passive/nature park, the following criteria will apply to the area credited for parkland:

- Must be open to all Lake Forest residents, not restricted to any private use
- Minimum core dimensions of 200' x 200'
- Utilize natural topography as much as possible
- No slopes greater than 6:1
- There shall be no grade differences over 30 inches



*This exhibit is provided as a conceptual illustration only.*



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Lighting within Serrano Summit shall be consistent in style, color, and materials in order to maintain uniformity throughout. Lighting should be subtle, providing a soft wash of light over illuminated objects such as monumentation. A hierarchy shall be established by using a variety of lighting fixtures of appropriate illumination levels. Lighting styles shall tie into architectural styles and provide sufficient illumination for the safety and well being of the community. Fixture locations should be designed so that light source is not unnecessarily visible by pedestrian or vehicular traffic. Lighting shall be designed to prevent glare from impacting the adjacent residential areas. Frosted, louvered, or prismatic lens should be considered where decorative lighting fixtures are visible and part of the aesthetic lighting program.

The City shall maintain street lights on all public streets within Serrano Summit. The developer will submit specific lighting designs describing the type, style and height of lighting along with designs for streets and parks to the City for review and approval with the Final A Map and infrastructure construction drawings.



# WALLS & FENCES

9.13

Within Serrano Summit, the walls and fences are a major component in achieving an overall community theme. A strong cohesive appearance for the community is achieved through the use of a themed community wall program and general overall wall guidelines (see Exhibit 9-19).

Exterior wall colors shall harmonize with the site. Textures are to be integrated with the site to produce a variety of shade and texture.

Wall design, materials, color and finishes shall complement adjacent architecture to keep the community design theme cohesive.

All walls that adjoin community streets (major streetscapes identified under Community- and Neighborhood-Level Streetscapes) shall be deemed “community walls.” The other walls and fencing, known as “product walls” and “View Fences” shall also adhere to the strict guidelines within.

## Community Walls

Community walls shall be decorative in nature. These walls consist of either solid walls, view fences, or a combination of the two.

Solid community walls shall be constructed of concrete masonry unit (CMU) block. The exterior face of the CMU community walls shall either be decorative concrete block, painted stucco or integral color stucco on concrete block.

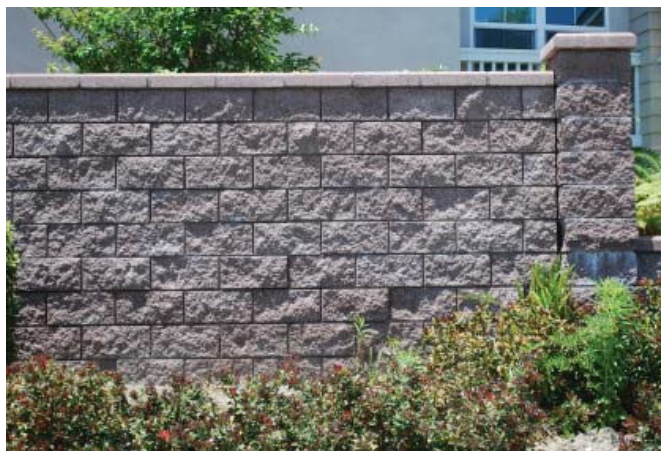
View fences or view walls along community open spaces are encouraged wherever privacy or screening is not necessary. These shall be constructed to conform to the “View Fences” community standard.

Community walls shall incorporate the use of pilasters or other design elements to help break up long stretches of walls and provide interest and rhythm. Pilaster design should compliment, or be consistent with, the materials of the community walls.

## Theme Rail Fence with Pilasters

The use of a two rail fence with low stone veneer pilasters will compliment the Early California Rancho theme and will provide a rustic, established element to the community. These Themed Rail Fences will be present immediately upon entry to the community and are designed to work together with the entry monumentation. The open rail fence is located at the top of slopes to preserve and frame views or as safety guardrail adjacent to pedestrian walkways. The rail fence should have a weathered, aged appearance and be constructed of concrete, wood or vinyl.

Stone veneer pilasters should be located along fence's major turning points and at the ends. A stone veneer of rustic, natural appearance in organic, earth toned hues is required. A precast plaque or medallion should be added to some key pilasters, similar to



style in which Early California Rancho branded. This plaque should be integral with the pilaster to avoid a “bolted on” appearance. (See Exhibit 9-20)

**Masonry Walls**

- Masonry product walls are all walls interior to a project that are not community walls and are built by the parcel developer; they shall develop a unified parcel wall theme that reflects the theme of the community.
- Masonry product walls are visible from adjacent non-residential parcels, streets or community open space.
- Side yard wall returns, side yard privacy walls along corner lots, and rear yard privacy walls along neighborhood streets are all masonry walls.
- All masonry product walls shall be constructed of CMU block and shall be installed on individual lots within all neighborhoods including side yard wall returns, side yard privacy walls along corner lots, and rear yard privacy walls along neighborhood streets. The exterior face of the product CMU walls shall either be decorative concrete block, painted stucco or integral color stucco on concrete block.
- All walls built by the parcel developer within or at the perimeter of single family neighborhoods shall meet County/City pool safety requirements.
- Where two masonry walls meet at adjoining parcels, walls shall match in color and finish, or have a unifying transitional element such as a pilaster at the connection point.
- Walls shall have a maximum step of 16 inches with a minimum of 32 inches horizontal between steps.

**Retaining Wall System**

Wall systems referred to as Mechanically Stabilized Earth (MSE) will be used within the community where slopes, topography differences, and/or design considerations warrant the use of a retaining wall system. This type of wall will only be used interior to the community and not on the community edges. Every effort will be taken to comply with the Retaining Wall Design Guidelines of the City. The MSE system will primarily be used along the main collector streets A, B, and Indian Ocean, with smaller MSE systems used along internal paseos and private streets. Several elements of the Guidelines will be used to soften the internal impacts of the walls on local

residents as they travel along the collector streets. The wall itself will be planted using the soil pockets throughout the wall system. These vine-type plants will transform the walls into “green” backgrounds. The top of the walls will be lower than the building pad above, thus creating a slope bank at the top of the wall that will be planted to soften that upper edge and reduce the height of the wall. Significant setbacks will be provided from the base of the wall to the street. Allowing adequate space to provide this landscaping screen is important to diminishing any visual impacts of the wall. On collector streets where the wall will be used, the distance between the curb and the base of the wall will be a minimum of 20 feet and in many locations will be more than 20 feet. Within this setback there will be a series of canopy trees and shrubs that will draw the passerby attention to the foliage and diminish the visibility of the wall. The parkway will have a double row of canopy trees on either side of the sidewalk, staggered in order to provide maximum “shielding” of the wall from both drivers and pedestrians. At certain key intersections the wall system will be split, providing for a stepped system of two walls rather than one. To further diminish any impact of the wall, it will vary in setback horizontally and will vary in vertical height in order to limit the look of a monolithic wall. The entire system of MSE walls and surrounding parkway and slope bank landscaping will be maintained by the Homeowner’s Association.

**HEIGHT/DISTANCE CHART**

LOCATION	HEIGHT OF WALL	DISTANCE
A Street	+ 6'	12.5'
B Street	6' & 14' (double wall)	14'
Indian Ocean	+ 8.5'	17'







## View Fences

If applicable, view fences should be located in the rear or side yards of those properties abutting open space areas or have off-site views. These fences allow open views outward but not physical access; they shall be 5'-6" min. high. View fences may be constructed of tubular steel or lexan glass panel construction or plexiglass and vinyl or 5'-6" min. combination wall (2' CMU block wall with 4' tubular steel fence). The use of view fences shall incorporate pilasters utilizing materials consistent with adjacent walls.



All view walls built by the parcel developer within or at the perimeter of single family neighborhoods shall comply with the "View Fences" community standard design.

## Garden Walls

Garden walls or fences shall not exceed 42 inches in height and may be constructed of CMU block or with materials that match the architectural style of the home. Walls to be located a minimum of two feet (2') from back of adjacent walk.

## Retaining Garden and Landscape Walls

- Retaining walls next to or visible from any street or community open space shall not exceed three feet (3') in height. Grade changes that require more retaining must be terraced with a minimum three foot (3') wide planter as measured from face of wall to face of wall, unless a crib wall is used.
- Independent retaining walls must be set back a minimum of two feet (2') from back of sidewalk. Retaining walls shall not abut a sidewalk, but may abut utility boxes. All independent retaining walls must have a return back to the adjacent product wall or taper to one block high at end of retaining condition.
- Retaining walls may be combined with a product or community wall as long as the total visible height of the solid wall surface, as measured on the exterior side of the wall, does not exceed 8 feet and is softened by landscape.
- Retaining walls interior to a parcel, but visible from any street or community open space shall be splitface or crib style.

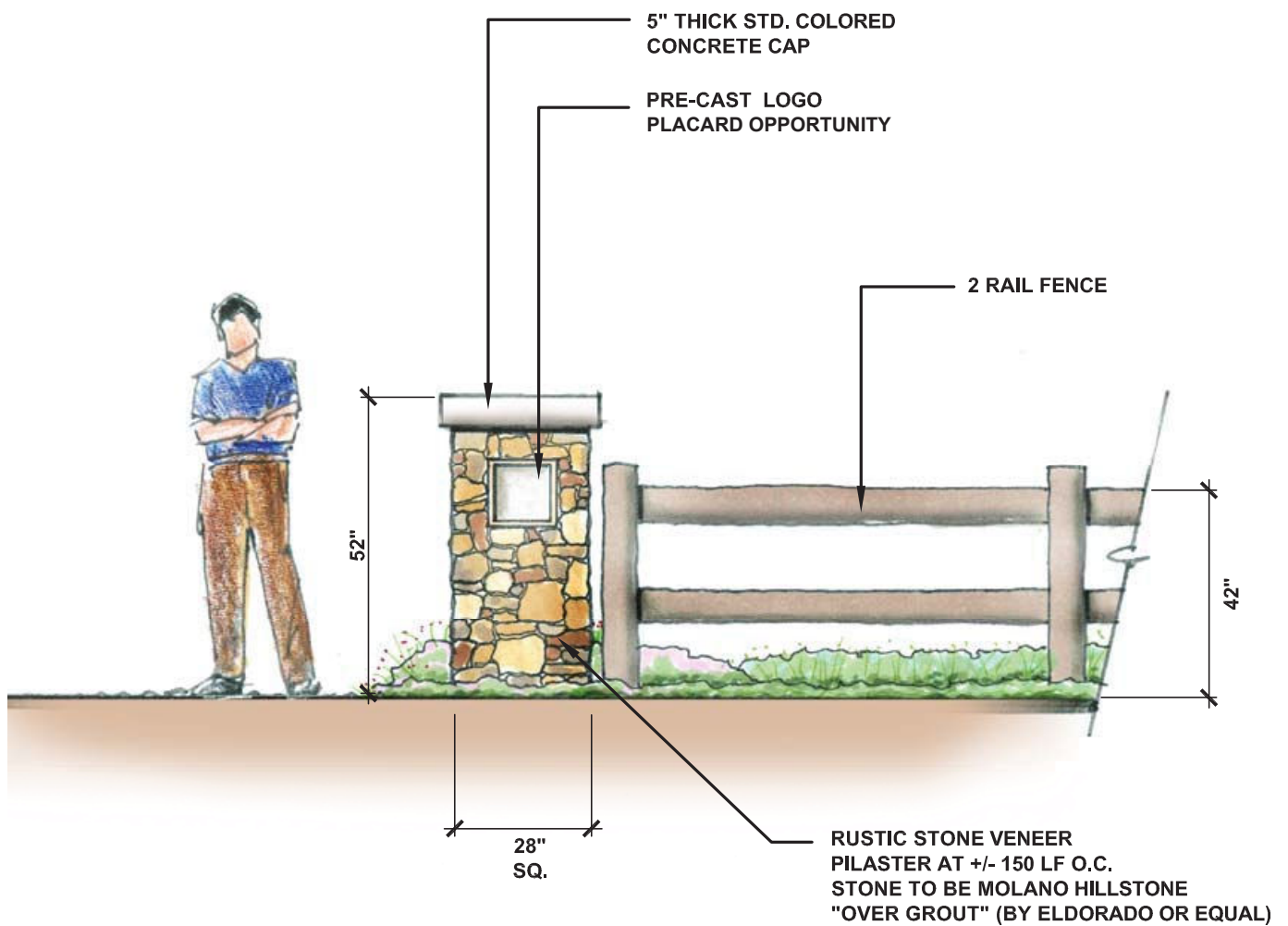






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# SITE FURNITURE

9.14

The design of street furniture such as street lighting, trash receptacles, benches, bollards, posts, signage markers and others shall be inspired by the community theme to provide consistency and connectivity with surrounding neighborhoods and harmonize with the community's design theme.

Colors and materials of street furniture shall complement the surrounding natural hillside terrain and landscape and shall be consistent with the rustic California community theme community landscape.

## SITE FURNITURE (Typical Examples)



Bench



Rectangular Picnic Table



Square Picnic Table



Waste Container



Bench



Rectangular Picnic Table



Square Picnic Table



Waste Container

## SITE FURNITURE - UNIVERSAL (Typical Examples)



Bike Rack



Bollard

# FUEL MODIFICATION

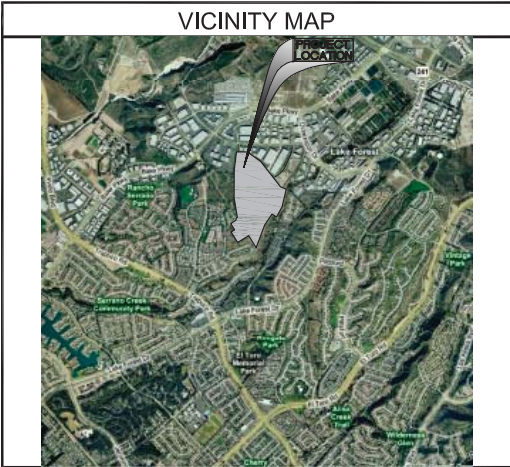
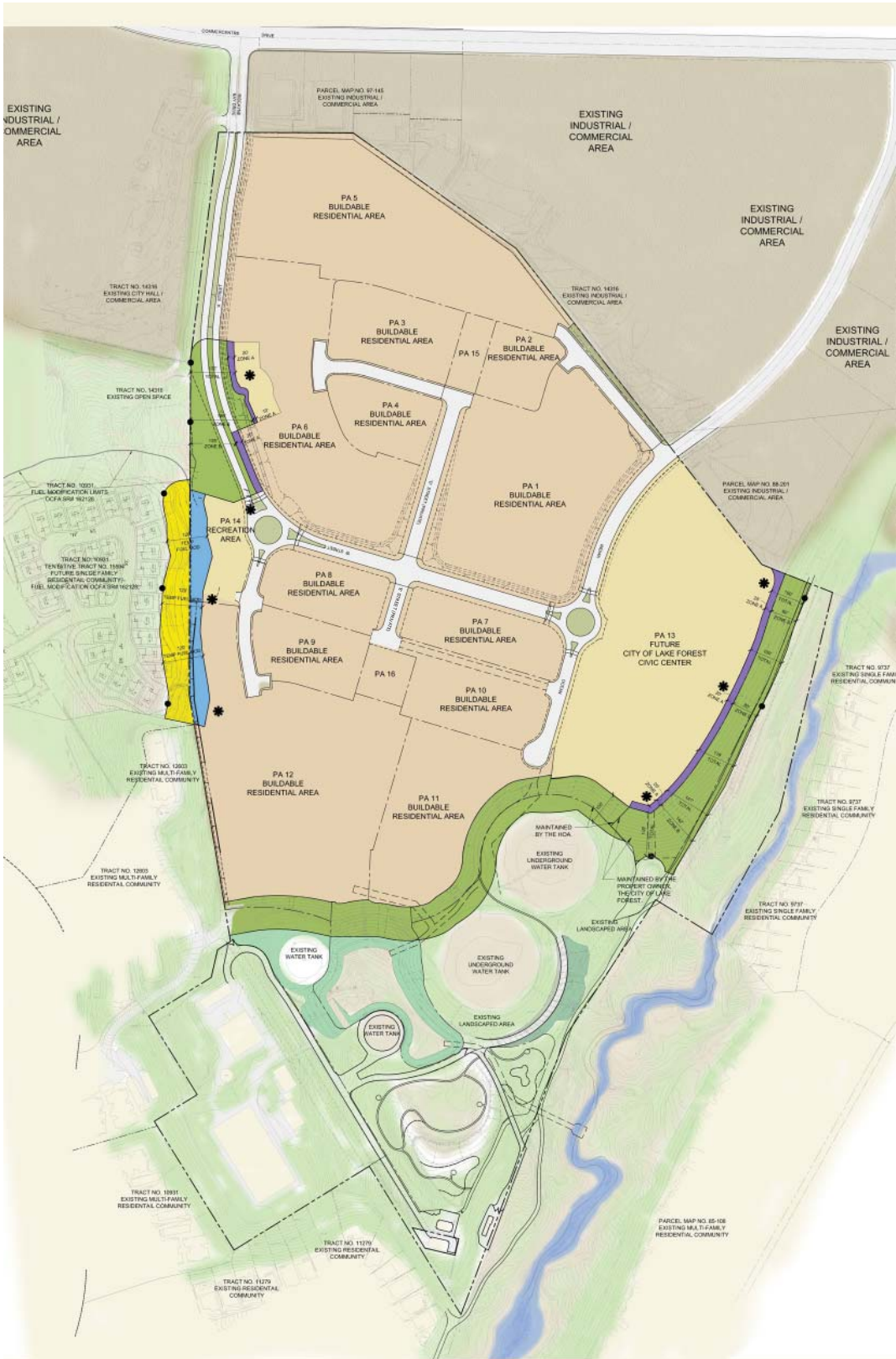
## 9.15

As an infill project with minor areas of open space, the Serrano Summit fire safety aspects have been designed and will be protected using the most recently developed codes. BehavePlus was used to estimate the maximum intensity of a fire moving towards this development, including flame lengths and fire intensity. The fuel modification zones were designed and located to cope with these findings and will ultimately reduce the flame lengths and fire intensity by the installation and maintenance of the Fuel Modification and Fire Master Plans.

Using a systematic approach, the threats presented by the vegetation that will remain after the completion of this project have been mitigated to a point where they do not present a risk to the structures or occupants of this project. The usage of fuel modification, enhanced construction features (where called for), and ongoing maintenance of the fuel modification zone, will insure that this community remains protected from the threat of wildfires as long as the conditions required by this program are in compliance.



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**SYMBOL LEGEND**

	<b>ACCESS POINT</b> - FUEL MODIFICATION WALK IN ACCESS POINT (A 5' NON-COMBUSTIBLE TUBULAR STEEL GATE WILL ONLY BE PROVIDED WHERE NECESSARY). 500' MINIMUM DISTANCE BETWEEN ACCESS POINTS AT FUEL MODIFICATION.
	<b>IDENTIFICATION MARKER</b> - PERMANENT IDENTIFICATION MARKERS SHALL BE CONSTRUCTED TO IDENTIFY THE LIMITS OF APPLICABLE FUEL MODIFICATION ZONES. MARKER DESIGN SHALL BE 2" DIA. X 8'-0" LONG GALVANIZED PIPE. EMBED MINIMUM 2'-6" INTO SOLID GROUND. STENCIL TOP 6" WITH A LETTER 'B' OR '2'. EXPOSE PIPE 2'-0" ABOVE VEGETATION MINIMUM.

**FUEL MODIFICATION LEGEND**

	<b>FUEL MODIFICATION ZONE A</b> - 10' to 20' minimum flat or level grade - Beginning of Fuel Modification. Non-combustible construction within this zone only. Maintained by the Property Owner and or the HOA. Fuel Modification consists of irrigated landscape with plant material from the OCFA Fuel Modification Plant Palette only. Refer to Fuel Modification Requirements and Maintenance Notes. No plant material from the Undesirable Plant List shall be allowed within this zone.
	<b>FUEL MODIFICATION ZONE B</b> - 80' to 186' - Maintained by HOA. Fuel Modification consists of irrigated landscape with plant material from the approved OCFA Fuel Modification Plant List. Zone B will be a minimum of 80' in a portion of the fuel modification. Refer to Fuel Modification Requirements and Maintenance Notes. No plant material from the Undesirable Plant List shall be allowed within this zone.
	<b>TEMPORARY FUEL MODIFICATION ZONE B</b> - 32' to 67' - Maintained by HOA. Fuel Modification consists of irrigated landscape with plant material from the approved OCFA Fuel Modification Plant List. Zone B will be a minimum of 32' in a portion of the fuel modification. Refer to Fuel Modification Requirements and Maintenance Notes. No plant material from the Undesirable Plant List shall be allowed within this zone. This zone shall be installed prior to construction of Planning Area X only if this project (tract# ) begins construction prior to the adjoining project (tract# ) per the license agreement agreed upon by both parties.
	<b>TEMPORARY FUEL MODIFICATION &amp; WEED ABATEMENT</b> - 53' - 88' - Maintained by HOA. Temporary Fuel Modification consists of a 50% Zone C which will be a minimum of 53' throughout. Refer to Fuel Modification Requirements and Maintenance Notes, Section Zone C. No plant material from the Undesirable Plant List shall be allowed within this zone.
	<b>MANUFACTURED SLOPE IN THE VICINITY OF THE FUEL MODIFICATION</b> - Landscaped and irrigated areas as shown on this plan maintained by the HOA and/or property owner. Plant material must comply with OCFA Attachment 8: Fuel Modification Zone Plant List.

**BUILDING CONSTRUCTION CLASSIFICATION LEGEND**

	<b>ENHANCED CONSTRUCTION ZONE - STRUCTURES ADJOINING THE FUEL MODIFICATION:</b> All structures within PA 13, PA 14, and structures adjoining the fuel modification on PA 6 as depicted on this plan shall receive "enhanced construction" on all four (4) sides per 2007 California Building Code Chapter 7A. Chapter 7A amendments require vents to be a minimum of $\frac{1}{8}$ " and a maximum of $\frac{1}{4}$ ", however we are providing a maximum of $\frac{1}{8}$ " venting.
	All other structures within this project shall meet roofing and venting requirements of the 2007 California Building Code Chapter 7A. Chapter 7A amendments require vents to be a minimum of $\frac{1}{8}$ " and a maximum of $\frac{1}{4}$ ", however we are providing a maximum of $\frac{1}{8}$ " venting.

All structures within this project shall be protected with Automatic Fire Sprinklers as follows:

- All Single Family and Duplex structures shall be protected with NFPA 13-D.
- All Multi-family structures shall be protect with NFPA 13-R.
- All Commercial structures shall be protected with full NFPA 13.



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## MASTER PLANT PALETTE

## 9.16

TABLE 9-4  
MASTER PLANT PALETTE

BOTANICAL NAME	COMMON NAME	ACCENT	VERTICAL SCREEN/ BACKGROUND	STREET TREE	UNDERSTORY TREE	PARKS & TRAILS	RIPARIAN ZONE	CONIFEROUS FOREST	CALIFORNIA/HILLSIDE FRIENDLY ZONE	FUEL MOD SLOPES
TREES										
Acacia smallii	Sweet Acacia								•	
Alnus rhombifolia	White Alder		•				•			•
Arbutus 'Marina'	Strawberry Tree				•					
Callistemon viminalis	Weeping Bottle Brush		•						•	
Cedrus deodara	Deodar Cedar					•		•		
Cercis mexicana	Mexican Redbud				•					•
Cercidium h. 'Desert Museum'	Thornless Hybrid Palo V.								•	
Chitalpa tashkentensis 'Pink Dawn'	Chitalpa				•	•				
Cinnamomum camphora	Camphor Tree	•		•						
Cupaniopsis anacardioides	Carrotwood			•			•			
Cupressus sempervirens	Italian Cypress	•								
Dracaena draco	Dragon Tree	•								
Heteromeles arbutifolia	Toyon	•								•
Lagerstroemia farnesia 'Hybrid'	Crape Myrtle	•		•				•	•	
Lyonothamnus floribundus	Catalina Ironwood				•					
Magnolia grandiflora 'D.D. Blanchard'	Southern Magnolia		•	•				•		
Melaleuca quinquenervia	Cajeput Tree		•	•			•			
Pinus canariensis	Canary Island Pine		•	•				•		
Pinus eldarica	Afghan Pine		•	•				•		
Pinus pinea	Italian Stone Pine			•				•		
Platanus acerifolia 'Bloodgood'	London Plane Tree		•	•		•			•	
Platanus racemosa (1)	California Sycamore		•	•			•			•
Prosopis glandulosa 'Thornless'	Thornless Texas Honey Mesquite	•							•	
Pyrus calleryana 'Aristocrat'	Aristocrat Flowering Pear	•				•				
Quercus agrifolia (1)	Coast Live Oak			•		•	•		•	•
Quercus douglasii (1)	Blue Oak									•
Rhus lancea	African Sumac			•					•	•
Sambucus Mexicana	Mexican Elderberry								•	•
*Schinus molle	California Pepper Tree			•		•				
Tipuana tipu	Tipu Tree			•						
*Tristania conferta	Brisbane Box		•	•		•		•		
Ulmus parvifolia 'True Green'	Evergreen Elm	•				•				
Umbellularia californica (1)	California Bay			•			•			
Zelkova serrata 'Halka'	Sawleaf Zelkova					•				

(\*) Denotes trees that are to be avoided in wind prone areas

(1) Denotes trees that are native to California.

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SHRUBS										
Aeonium arboreum	Tree Aeonium	•				•				
Agave attenuata	N.C.N	•								•
Agave desmettiana 'Variegata'	Variegated Dwarf Century Plant	•				•				
Agave vilmoriniana	Octopus Agave	•				•				
Aloe arborescens	Tree Aloe	•				•				
Aloe striata	Coral Aloe	•				•				
Alogyne huegeii	Blue Hibiscus									•
Anigozanthos manglesii	Kangaroo Paw					•			•	
Artemisia caucasica	Caucasian Artemisia							•		•
Baccharis 'Centennial'	Coyote Brush								•	•
Baccharis salicifolia	Mulefat									•
Bougainvillea 'Hawaii'	Variegated Bougainvillea	•				•				
Buxus m. japonica	Japanese Boxwood	•				•				
Carissa grandiflora 'Boxwood Beauty	Natal Plum					•		•	•	
Ceanothus 'Concha'	Ceanothus						•		•	•
Ceanothus g. horizontalis	Carmel Creeper						•		•	•
Chondropetalum tectorum	Cape Rush	•					•			
Cistus hybridus	White Rockrose								•	•
Coprosma repens 'Marble Queen'	Mirror Plant	•								
Cotoneaster lacteus	Parney Cotoneaster					•	•		•	
Elaeagnus pungens	Silverberry									•
Encelia californica	California Encelia								•	•
Eschscholzia californica	California Poppy	•								•
Feijoa sellowiana	Pineapple Guava	•				•				
Fremontodendron californicum	California Flannelbush								•	•
Hemerocallis 'Dwarf Yellow'	Day Lily	•								
Hesperaloe parviflora	Red Yucca								•	•
Juncus patens	California Gray Rush						•			
Lantana sellowiana 'Monma'	White Lightin' Trail Lantana	•							•	
Leucophyllum laevigatum	Chihuahuan Sage (Texas Ranger)					•			•	
Lomandra longifolia 'LM300'	Breeze Dwarf Mat Rush						•			
Lupinus bicolor	Sky Lupine	•								•
Mandevilla splendens "Red riding Hood"	Mandevilla	•						•		
Melaleuca nesophila	Pink Melaleuca					•				
Mimulus species	Monkeyflower								•	•
Moraea bicolor	Fortnight Lily	•				•				
Muhlenbergia rigens	Deer Grass							•	•	

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Myoporum parvifolium 'Putah Creek'	Prostratum Myoporum							•	•	
Myrtus communis	True Myrtle	•				•		•		
Nassella (stipa) pulchra	Purple Needlegrass									•
Nemophila menziesii	Baby Blue Eyes								•	•
Opuntia littoralis	Prickly Pear	•							•	•
Phormium cookianum	Green Flax	•				•		•	•	
Pittosporum species	Tobira	•				•		•	•	
Plumbago capensis	Cape Plumbago								•	•
Quercus dumosa	Coastal Scrub Oak					•				•
Rhamnus californica	Coffeeberry								•	•
Rhaphiolepis species	Indian Hawthorne	•						•	•	
Rhus ovata	Sugar Bush								•	•
Ribes speciosum	Flowering Gooseberry								•	•
Rosa F. 'Ice Berg'	White Shrub Rose	•						•		
Rosmarinus o. 'Prostratus'	Trailing Rosemary					•		•	•	
Rosmarinus o. 'Tuscan Blue'	Rosemary	•							•	
Salvia greggii	Autumns Sage					•			•	
Salvia greggii 'Sierra Linda'	Red Salvia	•							•	
Senecio mandraliscae	N.C.N.	•							•	
Strelizia reginae	Bird-of-Paradise	•							•	
Thevetia peruviana	Yellow Oleander	•						•		
Viburnum tinus 'Spring Bouquet'	Laurustinus					•			•	
Westringia fruticosa 'Wynabbie Gem'	Coast Rosemary					•			•	
Xylosma congestum	Xylosma					•		•		
Yucca whipplei	Our Lord's Candle								•	•



